

MEETING NOTICES

The Jonesborough Planning Commission will meet in Regular Session at 6:00 p.m., Tuesday, May 20, 2025, in the Board Room at the Town Hall, 123 Boone Street, Jonesborough, TN.

PUBLIC COMMENTS REGARDING AGENDA ITEMS

Members of the public wishing to speak concerning any item on the agenda during the Public Comment period must sign up by calling the Town Administrative Office at 423-753-1030 with their name, address, and subject about which they wish to speak no later than 2 hours before the meeting if the meeting occurs during normal business hours or by 4:45 p.m. the day of the meeting if the meeting occurs after hours. Otherwise, such member of the public must sign in at the location of the meeting, prior to the beginning of the meeting, by seeing the Town Recorder at meetings of the Board of Mayor and Aldermen, or the secretary or staff of any board, commission or committee constituting any other governing body under this resolution.

Each individual shall be given three (3) minutes to address the Board regarding Agenda items. Comments shall be limited to items on the meeting's Agenda

Opening Prayer

Pledge to the Flag

JONESBOROUGH PLANNING COMMISSION

Agenda

Call to Order

1. Public Comments
2. Approval of Minutes
3. Request to rezone property located at 1215 East Jackson Boulevard from R-4 (Transition Residential District) to B-3 (Arterial Business District)
4. Request to rezone property located at 1776 Hwy 11-E (Washington County) from A-1 General Agriculture District to B-3 General Business District,
5. Request for approval by the Washington County Planning Office for approval of a zoning text amendment to Washington County Zoning Resolution Article VI, Use Requirements by District, Section 611, B-1 Neighborhood Business District Text Amendment

6. Request for Release of the following Bonds:
 - a. Cash Bond for Elite Development Group LLC for Wendy's
 - b. Performance Bond for Bradford Park PUD Phase II
7. Request for approval of a new monument sign for Starbucks located at 1504 East Jackson Boulevard
8. Request for final plat approval of the Eldridge Subdivision, Lots 4-7, located on Headtown Road and John France Road
9. Request for approval of a Home Occupation Permit located at 229 Spring Street
10. Request for approval of a Site Plan and Grading Security for Wolfe-Boones Creek Phase 3
11. Request for approval of a Site Plan, Grading Security, In-Lieu of Sidewalk Fee for Chapman's Reserve Subdivision located off E. Main Street

JONESBOROUGH PLANNING COMMISSION

MINUTES – April 15, 2025

The Jonesborough Planning Commission met in a regular meeting on Tuesday, April 15, 2025, at 6:00 p.m., in the Board Room at Town Hall, 123 Boone Street, Jonesborough, Tennessee.

Members Present: Tom Foster – Chairman, Frank Collins, Terry Countermine, Darrell Fowler, Bill Graham, Robin Harpe, Jim Rhein

Members Absent: Josh Conger, Richie Hayward

Staff Present: JW Greene, Kevin Fair, Donna Freeman

1. Public Comments – There were none.

2. Approval of Minutes – Meeting of March 18, 2025

The motion to approve the minutes of the March 18, 2025 Planning Commission meeting was made by Jim Rhein, seconded by Terry Countermine and was duly passed.

3. Mobile Food Unit Regulations

The purpose of Mobile Food Unit regulations is to minimize any negative or detrimental effects of food trucks on neighborhood properties and adjacent land uses while ensuring that permitted food trucks do not become a hazard or public nuisance. These regulations would be made with reasonable consideration, among other things, as to the character of each district and its peculiar suitability for food trucks and with a view to conserving the value of other uses within the boundaries of the Town of Jonesborough.

Commissioners held a discussion in regard to the proposed regulations. Questions were raised in regard to lemonade stands (on private property), non-profit organizations selling food, and special events. The consensus of the Commissioners was that the Mobile Food Unit Regulations be brought back for clarification in regard to the questions that were raised.

4 Traffic Impact Study

Town staff is recommending amending the current Subdivision Regulations by adding a section for Traffic Impact Study and the standards that require it for certain size developments. A **Draft** Resolution was presented amending the Jonesborough Subdivision Regulations for the Purpose of Adding Number 22 "Traffic Impact Study" under Article III – General Requirements and Minimum Standards of Design, as follows:

22. Traffic Impact Study

A Traffic Impact Study shall be required if the need for such is determined during the pre-application conference and/or Master Plan review. The following circumstances indicate the need for a traffic impact study:

- 1) Residential development with 50 or more dwelling units or non-residential development with 30,000 square feet of floor space or more.*
- 2) Mixed-use development that generates 50 peak hour vehicle trips or 500 daily vehicle trips.*
- 3) The project is located near a location identified by Town staff or the Public Safety Department as a high crash and/or incident location or high concern location.*
- 4) A Traffic Impact Study is deemed necessary according to the Town Engineer. The Town Administrator has the final authority to require a Traffic Impact Study for any specific project.*

The Owner/Developer shall consult with the Town Administrator and/or staff to finalize the need for a Traffic Impact Study and the scope of any required study. The Traffic Impact Study shall be completed by a registered Engineer and shall be prepared in accordance with generally accepted standards and practices and shall be done at no cost to the Town. If a Traffic Impact Study is required, the Owner/Developer or authorized agent shall:

- 1) Schedule and conduct a scoping meeting with the Town staff, and the Engineer performing the Traffic Impact Study. This meeting will determine the scope and breadth of the Traffic Impact Study.*
- 2) Consult with the Town staff prior to completing traffic projections and traffic analysis to obtain approval for background assumptions, directional distributions, and internal and pass-by reductions.*
- 3) Submit a Draft Traffic Impact Study to the Town staff. The Town staff or Town designee will review and comment on the draft report. The Traffic Impact Study shall identify, analyze, and discuss mitigation measures. These mitigation measures shall be specific and feasible actions whose implementation will minimize the adverse impacts of the proposed development.*
- 4) The Final Traffic Impact Study shall be submitted, as required by the Town staff, and shall be signed and sealed by a registered Engineer in Tennessee prior to submitting Construction Plans or Preliminary Plats/Plans to the town.*

Review and Approval

The Traffic Impact Study will receive approval after all findings are verified by the Town staff.

Expiration

The Traffic Impact Study shall expire two (2) years from the date of approval. After expiration, the owner/developer shall submit an updated Traffic Impact Study. If a significant increase in traffic is experienced within the scoped area of a traffic study, then the Town Administrator may require that the study be updated to reflect the increased traffic volumes.

Commissioners discussed the proposed changes of the **Draft** amendment to the current Subdivision Regulations. Chairman Foster polled Commissioners regarding the number of residential development with 50 or more dwelling units and the general consensus was that the residential development amount be lowered; and that the draft amendment be presented at the next Planning Commission meeting.

5. External Sidewalk Extensions

The current Subdivision Regulations contains the following information that captures discussions regarding "Sidewalk Along Existing Streets", as follows:

Sidewalks may be required along an existing public street when sidewalks presently exist upon property which directly adjoins the proposed subdivision or are located within 500 feet on the same side of the street, and the construction of such sidewalks is a component of an approved Pedestrian Access Plan. Sidewalks may be required along an existing public street when reconstruction of the existing street is proposed or is required by an approved traffic impact study.

In lieu of immediate construction of required sidewalks or other walkways, the Planning Commission may allow the developer to provide a security to the Town in an amount at least equal to the construction cost of the required sidewalks and in accordance with Article IV.

Commissioners discussed the plan, and the consensus was for Town staff to bring the plan back at the next Planning Commission meeting.

With there being no further business for discussion, Chairman Tom Foster adjourned the meeting.

JONESBOROUGH PLANNING COMMISSION

AGENDA PRESENTATION

DATE: May 20, 2025 AGENDA ITEM #: 3

SUBJECT: Rezone Property – 1215 E Jackson Blvd from R-4 to B-3

BACKGROUND:

Sisana Sasorith, is requesting a rezoning of a tract of land located at 1215 East Jackson Boulevard from R-4 (Transition) Residential District to B-3 Arterial Business District. The subject property is further described on Washington County Tax Map 52-K, Group A Parcel 004.00. The proposed use of the property is to construct a Miso Teriyaki House.

The immediate zoning abutting the subject land is as follows:

North: R-1 Low Density Residential District
South: B-3 Arterial Business District – Across E. Jackson Boulevard
East: R-1 Low Density Residential District
West: R-4 Transition Residential District

The immediate land uses abutting the subject land is as follows:

Subject Property: Single Family Residential
North: Single Family Residential
South: Commercial – Across E. Jackson Boulevard
East: Single Family Residential
West: Commercial (professional offices such as law and accounting) – Existing structure preserves the residential neighborhood integrity

The existing R-4 district is a unique zoning district as it requires commercial use within the R-4 to architecturally resemble residential structures to preserve the residential neighborhood integrity adjacent to arterial routes. The immediate zoning of the area (abutting the subject property) is R-1 and R-4 zones, both of which are “residential” in character. The immediate land uses are predominantly residential, with a commercial use (professional offices) that does preserve the neighborhood integrity architecturally.

The R-4 District does permit “small cafés or eating establishments with seating seventy-five (75) seats or less and no drive-in windows”. The significant reason for the rezoning request is that the owners’ proposed eating establishment is primarily a drive-in window-oriented business. The B-3 district has more flexible type uses related to eating establishments.

The rezoning of the subject property to B-3 would not be in character to the immediate and existing zoning and land uses, which are predominantly residential in nature, with the existing commercial use in the R-4 preserving the neighborhood integrity architecturally.

RECOMMENDATION:

Recommend denial of the requested rezoning from R-4 (Transition) Residential District to B-3 Arterial Business District, as presented.



TOWN OF JONESBOROUGH

123 BOONE STREET
JONESBOROUGH, TN 37659
TELEPHONE (423) 753-1030
FAX (423) 753-1074

Jonesborough:

Planning Commission; Board of Zoning Appeals;
Design Review Commission; Board of Mayor & Alderman

Owner/Applicant: SISANA SASORITTH Phone Number: 423 7416476

Representative

Attending Meeting: NANTHIDA INTARONG Phone Number: 423 367 6476

Site Location/Area: 1215 EAST JACKSON BLVD

Describe reason for Request Review:

☐ Major Subdivision Plat ☐ Site Plan ☐ Design Review ☒ Rezone ☐ Annexation ☐ Variance ☐ Other

R-4 to B-3

Submittals Included:

FOR STAFF USE ONLY:

Zoning District: R-4 Development Type: ☐ Single Family ☐ Multifamily ☐ PUD ☐ Commercial

Setbacks: Front _____ Side _____ Rear _____ Tax Map: 052K Group: A Parcel ID: 00400

☐ Planning Commission ☒ Board of Zoning Appeals ☐ Design Review Commission ☐ BMA

Next Meeting Date & Time: 5-20-25 Application Due Date: _____

Owner/Applicant declares that by signing below that the information given on this application is accurate and that they are affirming that the owner/ applicant/ representative will be present at the meeting on the above date.

Fee (see fee schedule): \$ 250.00 Date of Payment: 4/8/25

03677

Owner Signature/Applicant: [Signature] Date: 4/8/25

PAID

APR 08 2025

R-4- B-3



[GIS Map](#)



[PDF](#)

[Return to Results](#)

Parcel Details

WASHINGTON COUNTY, TN | TAX YEAR 2025

County Information

County Number: 090

Reappraisal Year: 2024

Property Owner and Mailing Address

January 1 Owner

INTHAVONG NANTHIDA
& SASORITH SISANA
111 LAKE HARBOR DR
JOHNSON CITY TN 37615

Property Location

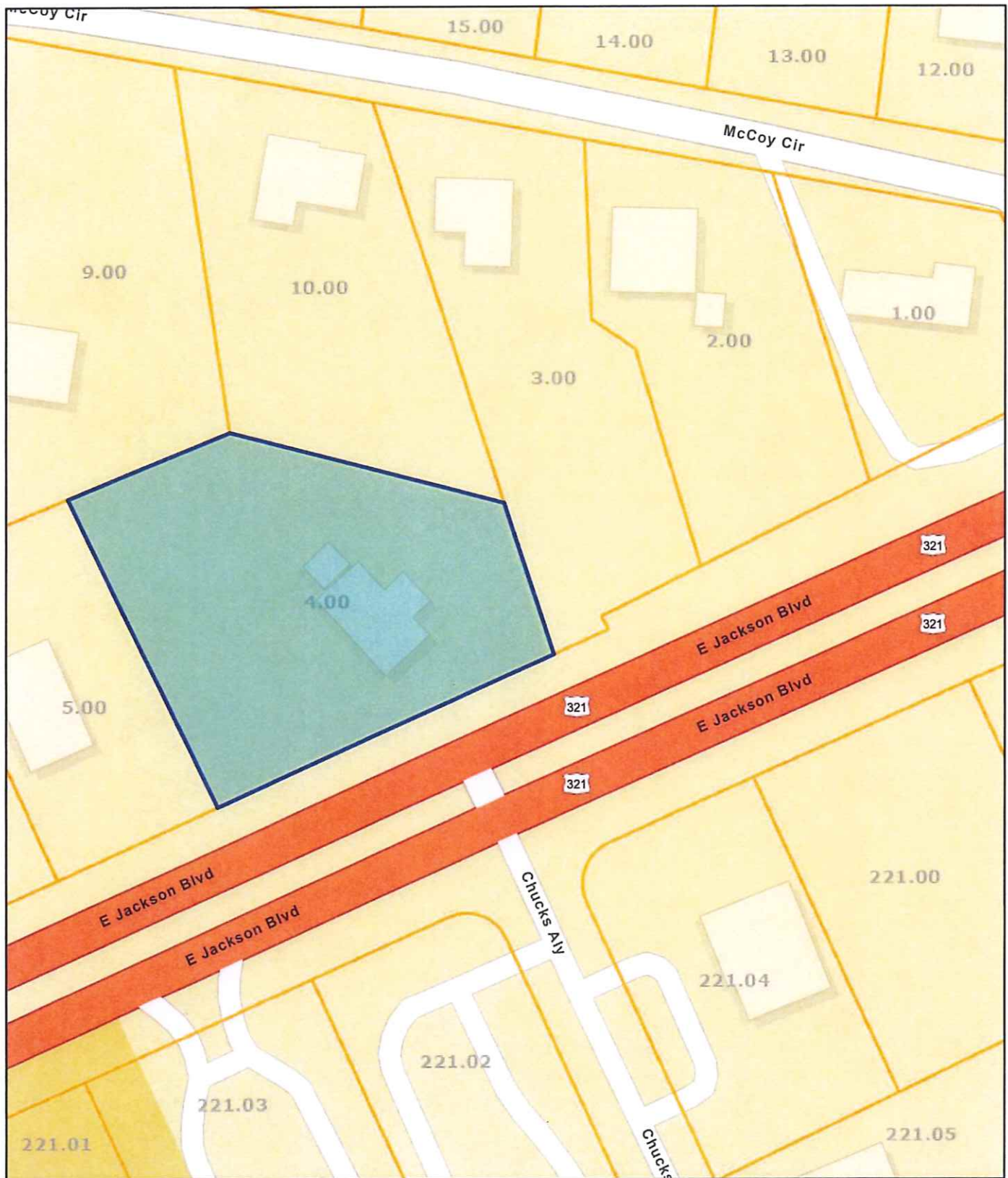
Address: JACKSON BLVD E 1215

Control Map:	Group:	Parcel:	Property Identifier:	Special Interest:
052K	A	004.00		000

Value Information

Land Market Value:	\$167,300
Improvement Value:	\$30,000
Total Market Appraisal:	\$197,300
Assessment Percentage:	25%
Assessment:	\$49,325

Washington County - Parcel: 052K A 004.00



Date: April 15, 2025

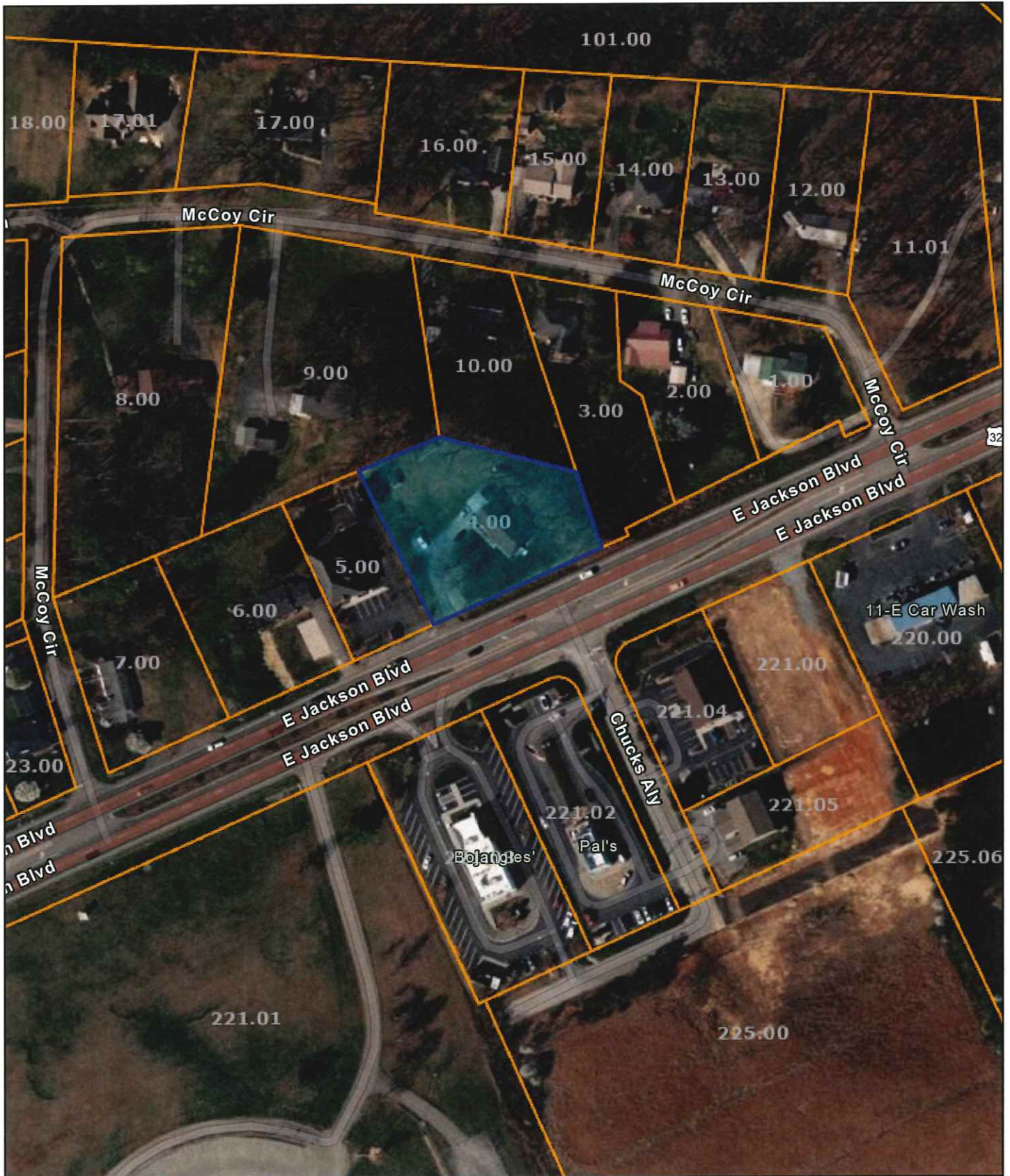
County: WASHINGTON
Owner: INTHAVONG NANTHIDA & SASORITH SISANA
Address: JACKSON BLVD E 1215
Parcel ID: 052K A 004.00
Deeded Acreage: 0
Calculated Acreage: 0

1:1,128
0 0.01 0.01 0.03 mi
0 0.01 0.02 0.04 km

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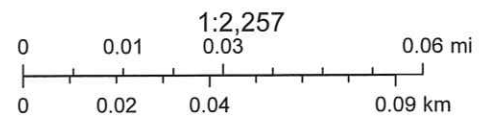
The property lines are compiled from information maintained by your local county Assessor's office but are not conclusive evidence of property

Washington County - Parcel: 052K A 004.00



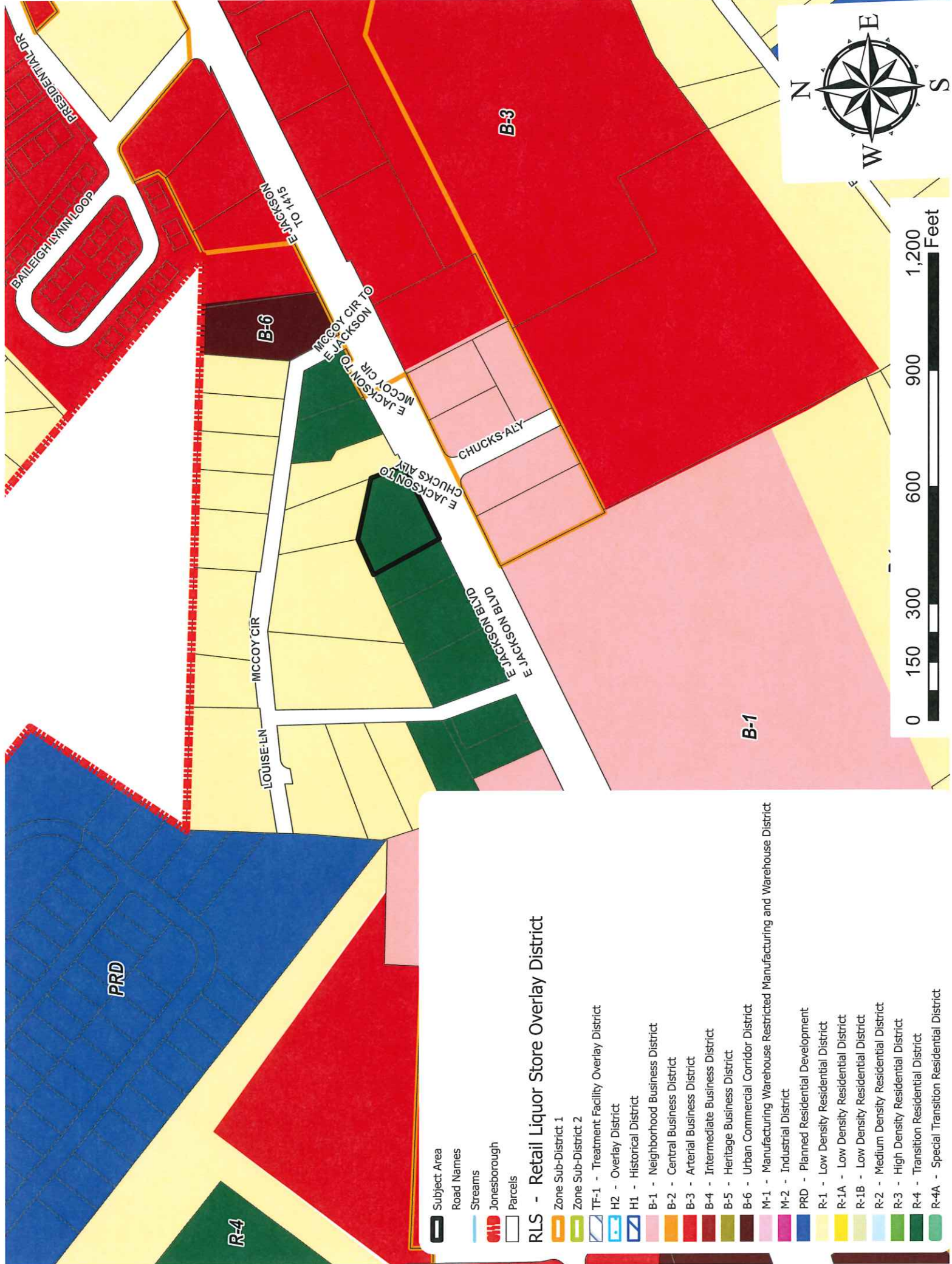
Date: May 13, 2025

County: WASHINGTON
Owner: INTHAVONG NANTHIDA & SASORITH SISANA
Address: JACKSON BLVD E 1215
Parcel ID: 052K A 004.00
Deeded Acreage: 0
Calculated Acreage: 0
Vexel Imagery Date: 2023



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REZONING NOTICE

REZONING FROM R-4 TO B-3

WILL BE CONSIDERED BY THE

JONESBOROUGH REGIONAL
PLANNING COMMISSION

AT TOWN HALL, 123 BOONE ST.

MAY 20TH 6 PM 753-1030

INFORMATION

JONESBOROUGH PLANNING COMMISSION

AGENDA PRESENTATION

DATE: May 20, 2025 AGENDA ITEM #: 4

SUBJECT: Rezone – Wash Co. Property, 1775 Hwy 11-E from A-1 to B-3

BACKGROUND:

The rezoning request is for property not located within the town's city limits but within the town's Planning Region, and as such, the Jonesborough Planning Commission makes recommendation to the Washington County Board of Commissioners on rezoning matters within the region.

Robert Eastep is requesting the rezoning of a tract of land from A-1 General Agriculture District to B-3 General Business District. The subject property is located on Hwy 11-E, and further described on Washington County Tax Map 59, Parcel 169.02, and containing 1 acre. The current land use of the subject property is Vacant.

The purpose of the rezoning is to permit the property owners of Jonesborough Funeral Home and Cremation Services located at 1776 Hwy 11-E (Parcel 175.00) to expand their business and add much needed parking for the funeral home business.

The immediate surrounding zoning and land use is provided below:

Surrounding Zoning	Surrounding Land Use
North: B-3 General Business District	Single Family and Commercial (Dog Grooming)
South: A-1 General Agriculture District	Vacant - Agriculture (22.7 acres)
East: A-1 General Agriculture District	Barn – Agriculture (12 acres)
West: B-3 General Business District	Garage - Residential

Staff's analysis of the immediate area abutting and adjacent to the subject property is a mixture of vacant, agriculture, residential, and commercial land uses. The expansion of the B-3 zone would not be out of character with the immediate land uses. Also, the expansion of the business to the south would require a landscaping buffer adjacent to the agricultural parcel (169.00).

RECOMMENDATION:

Based on land use analysis and the immediate area, the recommendation is to rezone the subject tract from the A-1 General Agriculture Zoning District to the B-3 General Business District, to the Washington County Board of Commissioners.

Washington County, Tennessee Zoning Office
APPLICATION FOR REZONING

REZONING FEE: \$455.00 (CHECK PAYABLE TO RICK STOREY, TRUSTEE)

PROPERTY OWNER & AGENT INFORMATION:

Owner Robert C. Eastep Phone 534-4944 Email robbie.eastep@gmail.com
Address 311 Coldwater Dr. City Johnson City State TN Zip 37601

If Applicable:

Agent _____ Phone _____ Email _____

SITE INFORMATION

Address Amy II E
Civil District 05 Tax Map 059 Group _____ Parcel 169.02 Lot Size _____

STAFF USE ONLY:

PLANNING REGION: ☒ Washington Co. ☒ Jonesborough ☐ Johnson City
Existing Zoning/Use A-1 Proposed Zoning/Use B-3
Adjoining Zoning Classification: North B-3 South A-1 East A-1 West B-3

MEETING INFORMATION

I agree to attend all meetings that concern this request as follows:

☒ Washington County Tennessee Regional Planning Commission: Date _____ Time 4:00 PM
(Historic Courthouse, Jonesborough)

☒ Jonesborough Regional Planning Commission: Date 5-20-25 Time 6:00 PM
(Town Hall, Jonesborough)

☐ Johnson City Regional Planning Commission: Date _____ Time 6:00 PM
(City Hall, Johnson City)

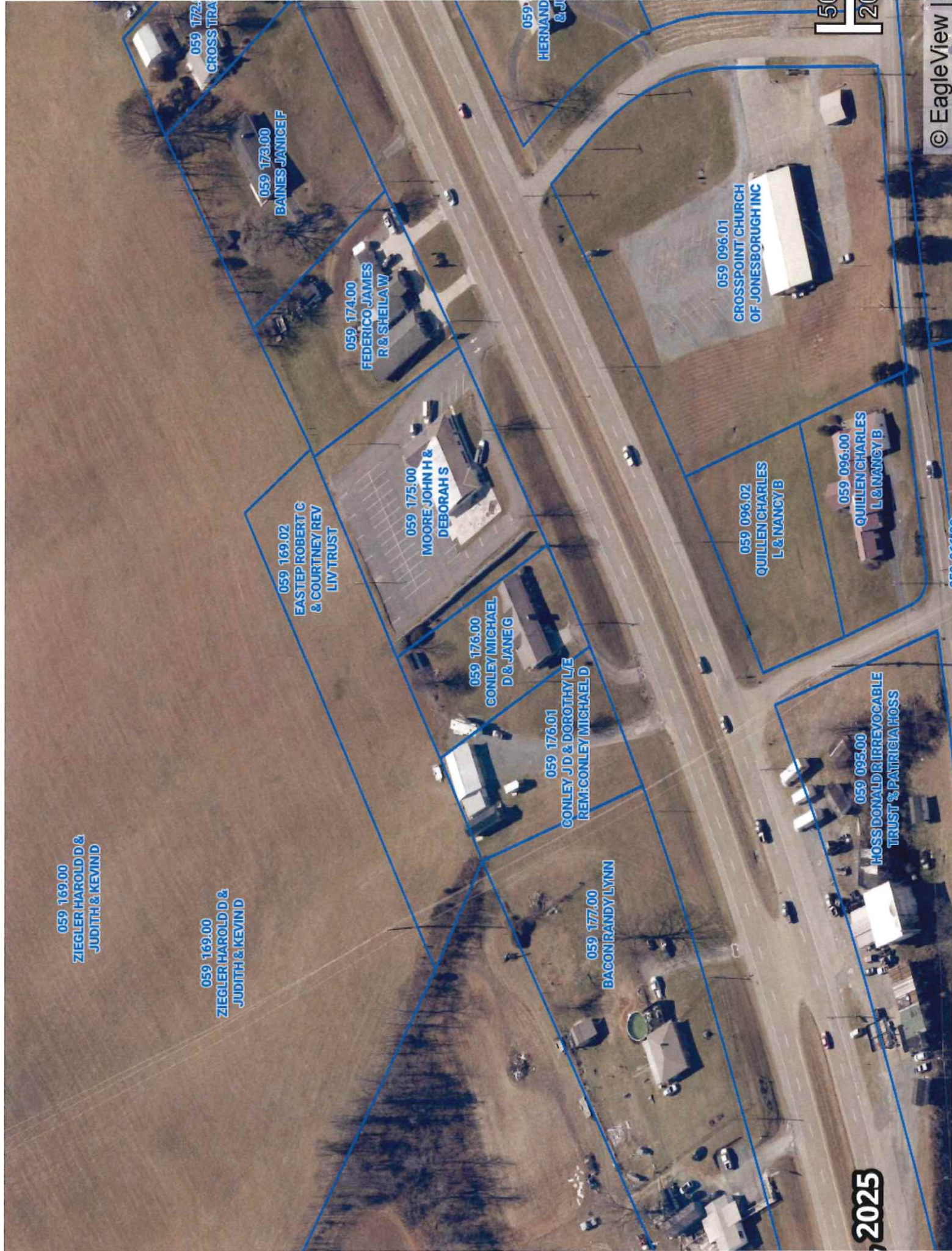
☒ Washington County Commission: Date 6-23-25 Time 6:00 PM
(George P. Jaynes Justice Center, Courtroom 7, Jonesborough)

☒ I understand that I must post a sign on the property 10 days prior to the meeting and I must maintain the sign on the subject parcel until after all meetings are concluded. Upon completion of all meetings, I will return the sign. Should the sign go missing, I will contact the Zoning Office immediately for a replacement.

Applicant Signature Robert C. Eastep Date 1/16/25

STAFF USE ONLY:

Received on 3/31/25 by [Signature]



059 169.00
ZIEGLER HAROLD D &
JUDITH & KEVIN D

059 169.00
ZIEGLER HAROLD D &
JUDITH & KEVIN D

059 169.02
EASTEP ROBERT C
& COURTNEY REV
LIV TRUST

059 174.00
FEDERICO JAMES
R & SHEILA W

059 173.00
BAINES JANICE F

059 175.00
MOORE JOHN H &
DEBORAH S

059 176.00
CONLEY MICHAEL
D & JANE G

059 176.01
CONLEY J D & DOROTHY L/E
REM: CONLEY MICHAEL D

059 177.00
BACON RANDY LYNN

059
HERNAND
& J

059 096.01
CROSSPOINT CHURCH
OF JONESBOROUGH INC

059 096.02
QUILLEN CHARLES
L & NANCY B

059 096.00
QUILLEN CHARLES
L & NANCY B

059 095.00
HOSS DONALD R IRREVOCABLE
TRUST & PATRICIA HOSS

150
120

2025



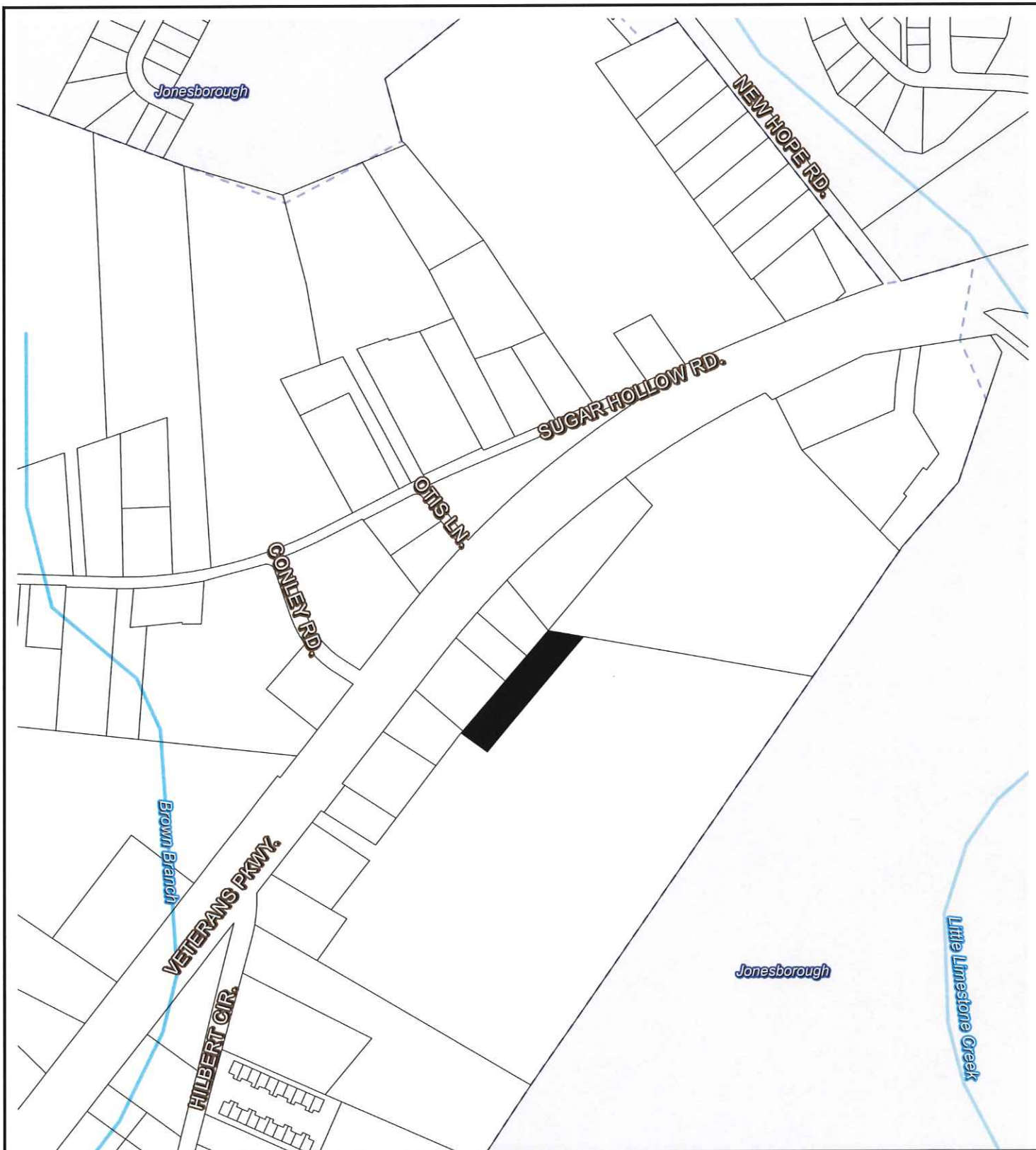
- County Boundaries
- Municipal Boundaries
- Subject Parcel
- Waterlines
- FIRM Panels
- Cross-Sections
- Flood Hazard Boundaries
- LN_TYP
- Limit Lines
- NP
- SFHA / Flood Zone Boundary
- Flowage Easement Boundary
- Flood Hazard Zones
- Zone Type
- 1% Annual Chance Flood Hazard
- Regulatory Floodway
- Special Floodway
- Area of Undetermined Flood Hazard
- 0.2% Annual Chance Flood Hazard
- Future Conditions 1% Annual Chance Flood Hazard
- Area with Reduced Risk Due to Levee
- Area with Risk Due to Levee



User Name: cpape

Date: 4/10/2025

Author: Christopher A. Pape, GISP



Robert Eastep Request, 5th Civil District,
Tax Map 059, Parcel 169.02

Prepared by the Washington County, Tennessee Zoning Office.
This map is not for engineering purposes.

0 200 400 800 1,200 Feet

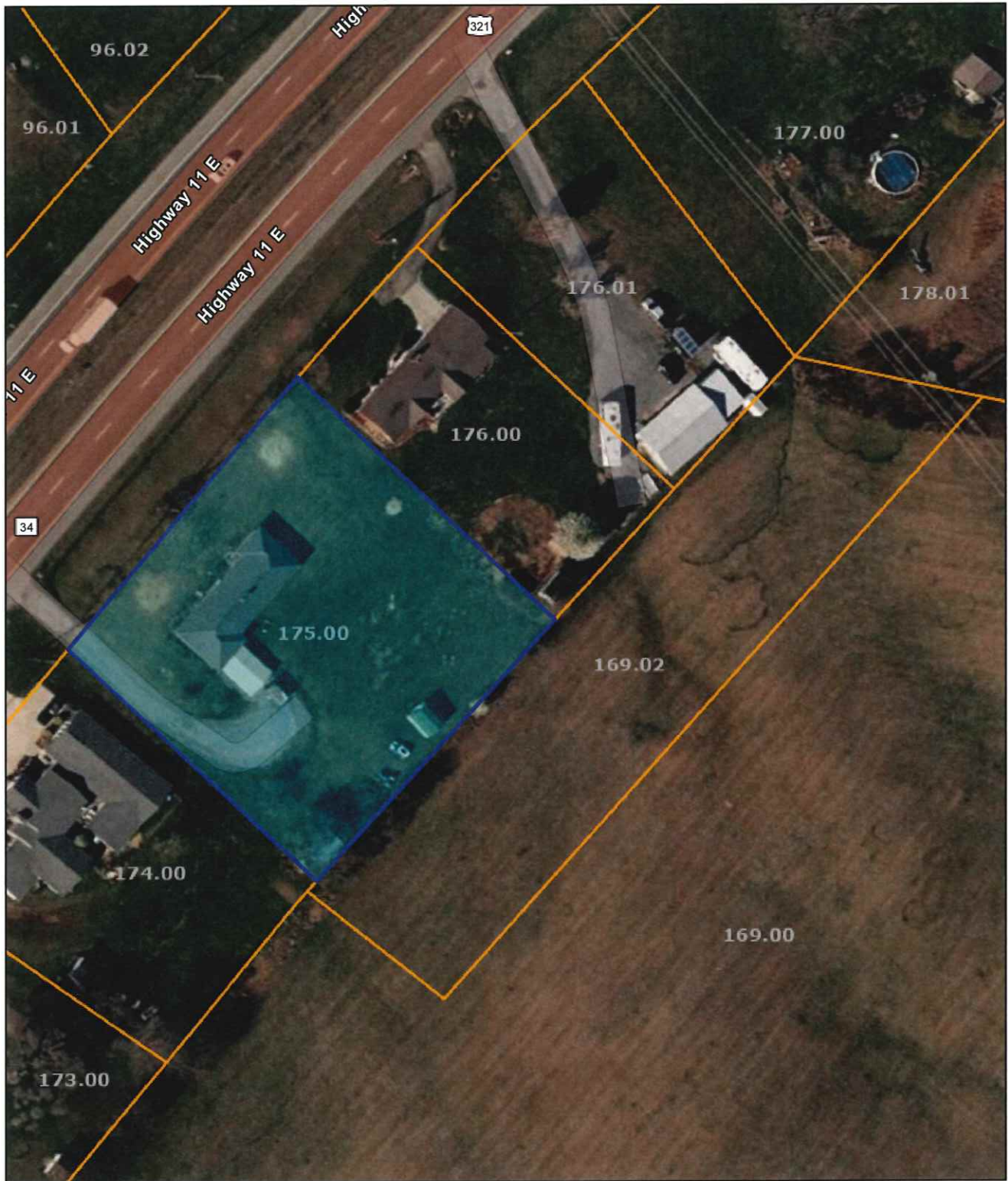
Subject Property
 Municipal Boundaries
 County Boundaries
 Tax Parcels

Coordinate System: NAD 1983 StatePlane Tennessee FIPS 4100 Feet
 Projection: Lambert Conformal Conic
 Datum: North American 1983
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 False Northing: 0.0000
 Central Meridian: -86.0000
 Standard Parallel 1: 35.2500
 Standard Parallel 2: 36.4167
 Latitude Of Origin: 34.3333
 Units: Foot US

Date Created: 4/10/2025 3:28 PM
 Software Version: ArcGIS Pro 3.2
 Cartographer: Christopher A. Pape, GISP

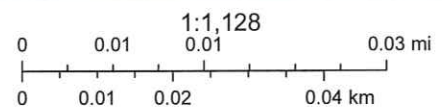


Washington County - Parcel: 059 175.00



Date: May 13, 2025

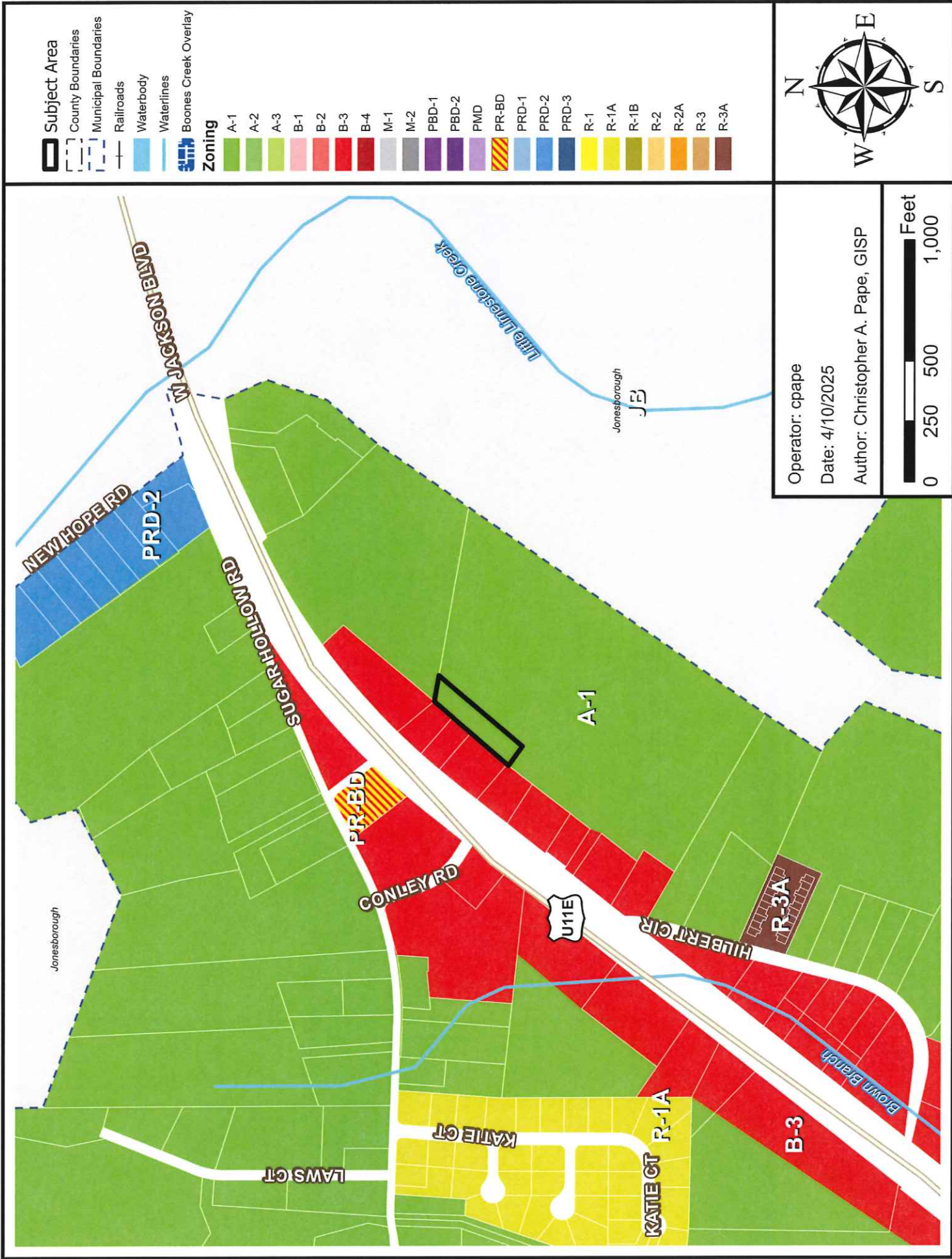
County: WASHINGTON
Owner: MOORE JOHN H & DEBORAH S
Address: HWY 11E 1776
Parcel ID: 059 175.00
Deeded Acreage: 0
Calculated Acreage: 0
Vexcel Imagery Date: 2023



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The property lines are compiled from information maintained by your local county Assessor's office but are not conclusive evidence of property ownership in any court of law.

Parcel 175.00 is Jonesborough Funeral Home and Cremation Services
Parcel 169.02 is the Rezoning Request Parcel



611. B-1 Neighborhood Business District. It is the intent of this district to establish business areas to serve surrounding residential districts. This is intended to be a restricted commercial district, limited to a narrow range of retail and services. The district regulations are intended to encourage grouping of uses in which parking and traffic congestion is reduced to a minimum and where pedestrian traffic and non-motorized traffic is promoted

611.1. In order to achieve the intent of the B-1 Neighborhood Business District, as shown on the Zoning Map of Washington County, Tennessee, the following uses are permitted subject to site plan approval by the Planning Commission as per the Zoning Resolution, Article V, Section 512:

611.1.2. Drug stores, funeral homes, barber and beauty shops, laundry and dry cleaning pick-up stations, laundromats, gift shops, shoe repair shops, hardware stores, day-care centers, professional services, flower shops, restaurants, retail bakeries, financial institutions and similar uses as determined by the Planning Commission.

611.1.3. For sign regulations refer to Article V Section 510.

611.1.5. Service stations provided that all structures, including underground storage tanks, shall be placed not less than thirty feet from any property line. Points of ingress and egress shall be located not less than fifteen feet from the intersection of street lines. The closest part of the canopy may be located within fifteen (15) feet of the right-of-way. The pump island may be located within twenty-five (25) feet of the right-of-way. A gasoline service station shall be compatible with the neighborhood layout as determined by the Planning Commission with a preliminary concept plan.

611.1.6 Second story single and multi-family dwellings are permitted as long as the first floor principle use is permitted in this zone.

611.2 Area Regulations. The following requirements shall apply to all uses permitted in this district.

611.2.1. Front Yard

All buildings shall be set back thirty (30) feet from the street right-of-way lines.

611.2.2. Side Yard

On the side of a lot adjoining a residential district or residential use there shall be a side yard of not less than thirty (30) feet. There shall be a side yard setback from an intersection street of not less than thirty (30) feet. The setback shall be seven and one half (7 1/2) feet in all other cases.

611.2.3. Rear Yard

There shall be a rear yard, alley, service court, or combination thereof, of not less than thirty feet in depth, and all of the service areas of all buildings shall be completely screened from public view with plant material or fencing.

612. B-2 Retail Business District. It is the intent of this district to establish areas for concentrated general business development. Uses which do not require a central location and create friction in the performance of function will be discouraged from this district. The requirements are designed to protect the essential characteristics of the district by promotion of business and public uses which serve the general public, and to discourage industrial and wholesale development while promoting pedestrian and non-motorized traffic and discourage congestion. All Retail Business Districts shall submit and receive approval of a site plan pursuant to the requirements as set forth in Sections 512.

612.1. In order to achieve the intent of the B-2 Retail Business District, as shown on the Zoning Map of Washington County, Tennessee, the following uses are permitted subject to site plan approval by the Planning Commission as per the Zoning Resolution, Article V, Section 512:

612.1.1. Any use permitted in the B-1 Business District.

612.1.2. Business signs as permitted in the B-1 business district.

612.1.3. Stores and shops conducting retail business, sales and display rooms.

612.1.4. Offices, grocery stores, restaurants and similar community services as determined by the Planning Commission.

612.1.5. Personal and professional services, public and semi-public buildings, retail printing operations, financial institutions, places of amusement and assembly, animal hospitals, veterinary offices, and shooting ranges if structures enclosing them limit sound emitted through exterior walls or structures to 60 decibels.

612.1.6. Any other store or shop for retail trade or for rendering personal, professional, or business service which does not produce more noise, odor, dust, vibration, or traffic than those enumerated above as determined by the Planning Commission.

612.1.7 Second story single and multi-family dwellings are permitted as long as the first floor principle use is permitted in this zone.

612.2. Area Regulations.

612.2.1. Front Yard

All buildings shall be setback thirty (30) feet from the street right-of-way line.

612.2.2. Side Yards

On the side of a lot adjoining a residential district or residential use there shall be a side yard of not less than thirty (30) feet. There shall be a side yard setback from an intersection street of not less than thirty (30) feet. The setback shall be seven and one half (7 1/2) feet in all other cases.

612.2.3. Rear Yard

There shall be a rear yard of not less than thirty (30) feet. Rear yards which abut a residential district shall be completely screened from public view with plant material or fencing.

613. B-3 General Business District. It is the intent of this district to encourage commercial development to concentrate to the mutual advantage of consumers and at the same time provide for adequate space and sufficient depth from the street for transactions of the district. This district is for personal and business services and general retail business, and is intended to include areas where commercial development has displaced or is displacing residential development, or is moving in on vacant lands. Regulations were designed to guide future change so as to discourage formation of future slums, to preserve the carrying capacity of the streets, and to provide for off-street parking and loading. It is not the intent of this district to encourage the extension of existing strip commercial areas, but rather to provide concentrations of general commercial activities.

613.1. Within the B-3 General Business District of Washington County, Tennessee, the following uses are permitted subject to site plan approval by the Planning Commission as per the Zoning Resolution, Article V, Section 512:

613.1.1 Any use permitted in the B-1 and B-2 districts.

613.1.3. Wholesale business, warehouses, storage yards and buildings, and truck terminals. The storage of hazardous substances and explosives will not be allowed in storage yards. They will only be allowed in the M-2 High Impact Use District.

613.1.4. Automobile sales, new and used, and mobile home sales, new and used.

613.1.5 Automobile service and repair establishments and automobile body shops for motor vehicle construction, farm equipment repair, for the repair of other vehicles and equipment with outside storage only for vehicles and equipment awaiting parts or repair. All motor vehicles stored outside shall have current registration. All automobiles, or parts thereof, are stored to the rear of the building in an enclosed fenced storage area. All automobiles, or parts thereof, are properly disposed of when they have no further use in the business. Storage containment area must be approved by the Planning Commission prior to construction.

613.1.6. Automotive restoration and customizing businesses provided that all automobiles, or parts thereof, are properly disposed of when they have no further use in the business. However no more than 10 vehicles without current registration shall be permitted, all automobiles, or parts thereof, are stored to the rear of the building in an enclosed fenced storage area. Storage containment area must be approved by Planning director staff prior to construction.

613.1.7. Automobile and truck tire stores, new and used provided that the inventory is enclosed within the structure.

613.1.8. Service Station, provided:

A. Service station principal and accessory buildings and gasoline pumps shall not be constructed closer than forty (40) feet to any residential district.

B. Gasoline pump islands shall not be located closer than twenty feet (20) feet to any street right-of-way line; however where pump islands are constructed perpendicular to the pavement edge, the pump island shall be located not less than thirty (30) feet back of the right-of-way line.

Canopies shall not be constructed closer than fifteen (15) feet from any street right-of-way. No variance shall be considered from this section.

613.1.9. Bottling operations and retail bakeries.

613.1.10. Funeral Homes

613.1.11. Animal hospitals, veterinarian offices, are permitted subject to the provision that all structures including dog runs are setback 150 feet from all property lines except if they abut a M-2 district. Shooting ranges are permitted if structures enclosing them limit sound emitted through exterior walls or structures to 60 decibels.

613.1.12. Public and private non-profit clubs are permitted.

613.1.13 Second and third story single and multi-family dwellings are permitted as long as the first-floor principle use is permitted in this zone.

613.1.14 Venues.

613.2. Area regulations. The following requirements shall apply to all uses permitted in this district.

613.2.1. Front Yard

All buildings shall be setback (30) feet from the street right-of-way lines;

613.2.2. Side Yards

On the side of a lot adjoining a residential district or residential use there shall be a side yard of not less than thirty (30) feet. There shall be a side yard setback from an intersection street of not less than thirty (30) feet. The setback shall be seven and one half (7 1/2) feet in all other cases.

613.2.3. Rear Yard

There shall be provided an alley way, service court, rear yard or combination thereof of not less than thirty (30) feet in depth. Rear yards which abut a residential district shall be completely screened from public view with plant material or fencing.

613.2.4. Maximum Lot Coverage

No Requirement

613.2.5. Height Restriction

No Requirement

JONESBOROUGH PLANNING COMMISSION

AGENDA PRESENTATION

DATE: May 20, 2025 AGENDA ITEM #: 5

SUBJECT: Wash. Co. Zoning Resolution Article VI – Text Amendment

BACKGROUND:

Washington County Planning Director Angela Charles is requesting Jonesborough Planning Commission's approval of a zoning text amendment to Washington County Zoning Resolution Article VI, Use Requirements by District, Section 611, B-1 Neighborhood Business District (a copy of the text is attached).

Tennessee Code Annotated (TCA) requires that all jurisdictions within a County's urban growth boundary to consider text amendments prior to review by the County's legislative body. Therefore, the Jonesborough Planning Commission is being asked to consider the amendment to add churches and cemeteries to the county's B-1 Neighborhood Business District.

The text amendment would allow churches and cemeteries in the commercial districts, as the B-2 through B-4 districts pyramid back to the B-1, so allowing the uses in the B-1 also allows them in the other commercial districts.

Based on permitted uses identified currently in the B-1 district, Staff opines that the amendment is reasonable and compatible with other uses already allowed (see 611.1.2. and 611.1.5).

RECOMMENDATION:

Recommend the zoning text amendment to the Washington County Zoning Resolution Article VI, Use Requirements by District, Section 611, B-1 Neighborhood Business District to the Washington County Board of Commissioners, as presented.

Proposed Amendment to the Washington County Zoning Resolution

The following text amendment (shown in red) is recommended to the County's Zoning Resolution. The purpose is to allow churches and cemeteries as permitted uses in the commercial districts.

611. B-1 Neighborhood Business District. It is the intent of this district to establish business areas to serve surrounding residential districts. This is intended to be a restricted commercial district, limited to a narrow range of retail and services. The district regulations are intended to encourage grouping of uses in which parking and traffic congestion is reduced to a minimum and where pedestrian traffic and non-motorized traffic is promoted

611.1. In order to achieve the intent of the B-1 Neighborhood Business District, as shown on the Zoning Map of Washington County, Tennessee, the following uses are permitted subject to site plan approval by the Planning Commission as per the Zoning Resolution, Article V, Section 512:

611.1.2. Drug stores, funeral homes, barber and beauty shops, laundry and dry-cleaning pick-up stations, laundromats, gift shops, shoe repair shops, hardware stores, day-care centers, professional services, flower shops, restaurants, retail bakeries, financial institutions, churches and cemeteries and similar uses as determined by the Planning Commission.

611.1.3. For sign regulations refer to Article V Section 510.

611.1.5. Service stations provided that all structures, including underground storage tanks, shall be placed not less than thirty feet from any property line. Points of ingress and egress shall be located not less than fifteen feet from the intersection of street lines. The closest part of the canopy may be located within fifteen (15) feet of the right-of-way. The pump island may be located within twenty-five (25) feet of the right-of-way. A gasoline service station shall be compatible with the neighborhood layout as determined by the Planning Commission with a preliminary concept plan.

611.1.6 Second story single and multi-family dwellings are permitted as long as the first-floor principal use is permitted in this zone.

611.2 Area Regulations. The following requirements shall apply to all uses permitted in this district.

611.2.1. Front Yard

All buildings shall be set back thirty (30) feet from the street right-of-way lines.

611.2.2. Side Yard

On the side of a lot adjoining a residential district or residential use there shall be a side yard of not less than thirty (30) feet. There shall be a side yard setback from an intersection street of not less than thirty (30) feet. The setback shall be seven and one half (7 1/2) feet in all other cases.

611.2.3. Rear Yard

There shall be a rear yard, alley, service court, or combination thereof, of not less than thirty feet in depth, and all of the service areas of all buildings shall be completely screened from public view with plant material or fencing.

JONESBOROUGH PLANNING COMMISSION

AGENDA PRESENTATION

DATE: May 20, 2025 AGENDA ITEM #: 6-a

SUBJECT: Release of Cash Bond – Elite Development Group – Wendy's

BACKGROUND:

A Cash Bond for Elite Development Group LLC was issued in the amount of \$35,160.00 for Wendy's at 300 East Jackson Boulevard. On March 18, 2025, the Planning Commission approved the reduction of the bond amount to hold back 30% of the bond or \$10,548.00. The site was inspected by Kevin Fair on April 30, 2025, and he is recommending the release of the remainder of bond as the site has been cleaned up and stabilized.

RECOMMENDATION:

Approve releasing the Cash Bond for Elite Development Group LLC for Wendy's project, as presented.



TOWN OF JONESBOROUGH

123 BOONE STREET
JONESBOROUGH, TN 37659
TELEPHONE (423) 753-1030
FAX (423) 753-1074

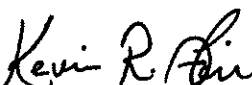
Date: 4/30/25

To: Glenn Rosenoff

From: Kevin R. Fair

Re: Cash Bond Release for Wendy's 376 East Jackson Blvd. Jonesborough, TN 37659

I am recommending the complete release of the remaining 30 percent cash bond in the amount of \$10,548.00 to Elite Development Group, LLC for Wendy's located at 376 E. Jackson Blvd.. The Town held the 30 percent for site cleanup and the grass to grow in. The developer has done the cleanup, and the grass and landscaping is coming in just fine. It is my opinion that the developer has met the requested punch and landscaping items for this site.

Sincerely, 
Kevin R. Fair

The Oldest Town In Tennessee

JONESBOROUGH PLANNING COMMISSION

AGENDA PRESENTATION

DATE: May 20, 2025 AGENDA ITEM #: 6-b

SUBJECT: Release of Performance Bond – Bradford Park PUD Phase II

BACKGROUND:

A Performance Bond was issued for Bradford Park PUD Phase II in the amount of \$29,315.00 for the completion of topcoat and sidewalks. The site was inspected by Jonesborough Building Inspector Kevin Fair on May 13, 2025, and he is recommending the release of the bond as the road and sidewalk are complete.

RECOMMENDATION:

Approve releasing the Performance Bond for Bradford Park PUD Phase II in the amount of \$29,315.00, as presented.



TOWN OF JONESBOROUGH

**123 BOONE STREET
JONESBOROUGH, TN 37659
TELEPHONE (423) 753-1030
FAX (423) 753-1074**

To whom it may concern,

This memo is to certify that the Town of Jonesborough Street Department has determined that the construction by the contractor for Bittersweet Trail in Jonesborough, Tennessee has completed and fulfilled all obligations pertaining to the sidewalks, streets and all other structures associated with the Town of Jonesborough.

Allen Hicks

Assistant Director Street Department



TOWN OF JONESBOROUGH

123 BOONE STREET
JONESBOROUGH, TN 37659
TELEPHONE (423) 753-1030
FAX (423) 753-1074

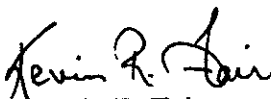
Date: 5/13/25

**From: Department of Buildings and Standards.
Kevin R. Fair, Building Inspector**

Re: Bradford Park Phase 2 Topcoat and Sidewalk Bond release.

To: Glen Rosenoff

Request for Bond release on Bradford Park Phase 2 asphalt topcoat and sidewalk. This Bond release was requested by Jeff Jones with BG & MLS Investments for \$29,315.00, that was procured May 20th, 2024. The asphalt as well as the sidewalk are 100% complete.

Sincerely, 
Kevin R. Fair

THE OLDEST TOWN IN TENNESSEE

JONESBOROUGH PLANNING COMMISSION

AGENDA PRESENTATION

DATE: May 20, 2025 AGENDA ITEM #: 7

SUBJECT: New Monument Sign – Starbucks, 1504 East Jackson Blvd

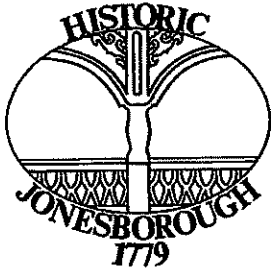
BACKGROUND:

Starbucks is requesting approval for a monument sign to be located at 1504 East Jackson Boulevard, and further described on Washington County Tax Map 52, Part of Parcel 225.03.

In the B-3 district, a monument size may not exceed 100 square feet in sign area and not exceed 14 feet in height at ground level. The proposed sign is to be internally lighted, 14 feet in height, and 70 square feet in sign area. The monument sign meets the minimum requirements of the town's sign regulations.

RECOMMENDATION:

Approve the new monument sign for Starbucks located at 1504 East Jackson Boulevard, as presented.



TOWN OF JONESBOROUGH

123 BOONE STREET
JONESBOROUGH, TN 37659
TELEPHONE (423) 753-1030
FAX (423) 753-1074

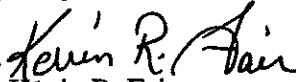
Date: 5/2/25

From: The office of Planning and Building Standards.
Kevin R. Fair, Building Inspector

Re: Starbucks monument sign requested design change.

To: Glen Rosenoff

The Starbucks design team reached out wanting to install a larger monument sign for their new location at 1504 East Jackson Blvd. Jonesborough, TN 37659. I have attached the new design rendering with engineering specs, as well as renderings of the original design. Please let me know if you need anything further from me.

Sincerely, 
Kevin R. Fair

THE OLDEST TOWN IN TENNESSEE

PRIMARY & PREFERRED LAYOUT



- Double Faced Illuminated Monument Sign
- All materials to be finished with painted finishes
- 125" high face to be routed to accommodate push thru graphics
- 375" Push thru graphics to have 3M vinyl applied to first and second surface
- Illuminated with white LED modules with all electrical UL listed and labeled
- Monument to be direct set into concrete footing per engineering for site location and soil condition.

Colors:

- Painted Pantone 659 (starbush)
- Painted Pantone 6410 (black (skin finish))
- Clear Acrylic (push thru)
- 3M White Translucent Vinyl (first surface)
- 3M ClearStar Film (second surface)



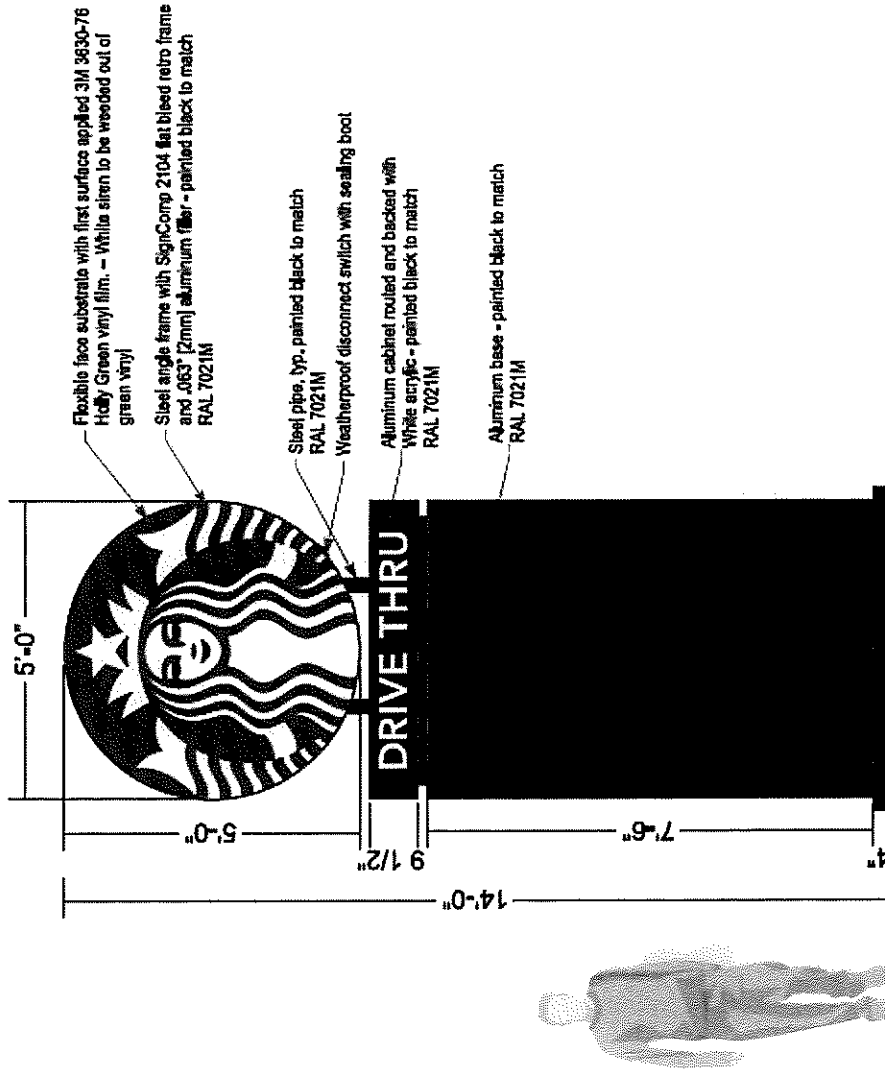
GROUND SIGN | MONUMENT PACKAGE

23070

SB-MON-IL-72
Starbucks | Monument | Illuminated | 72" Tall

Original

* New proposed Monument Sign.



SCALE: 3/8" = 1' (11x17 paper)

Front Elevation View

JONESBOROUGH PLANNING COMMISSION

AGENDA PRESENTATION

DATE: May 20, 2025 AGENDA ITEM #: 8

SUBJECT: Approval of Final Plat – Eldridge Subdivision Lots 4-7

BACKGROUND:

The request is for final plat approval of the Eldridge Subdivision Lots 4-7 containing 4 lots, totaling 16.57 acres and located on Hometown Road and John France Road. The subject property is further described on Washington County Tax Map 44, Parcel 27.01. The owner is Eldridge Community Property Trust, and the surveyor Gary Waddell, Benchmark Design. The subdivision plan meets the minimum lot size requirement as per the Zoning Ordinance and meets the minimum requirements of the Subdivision Regulations.

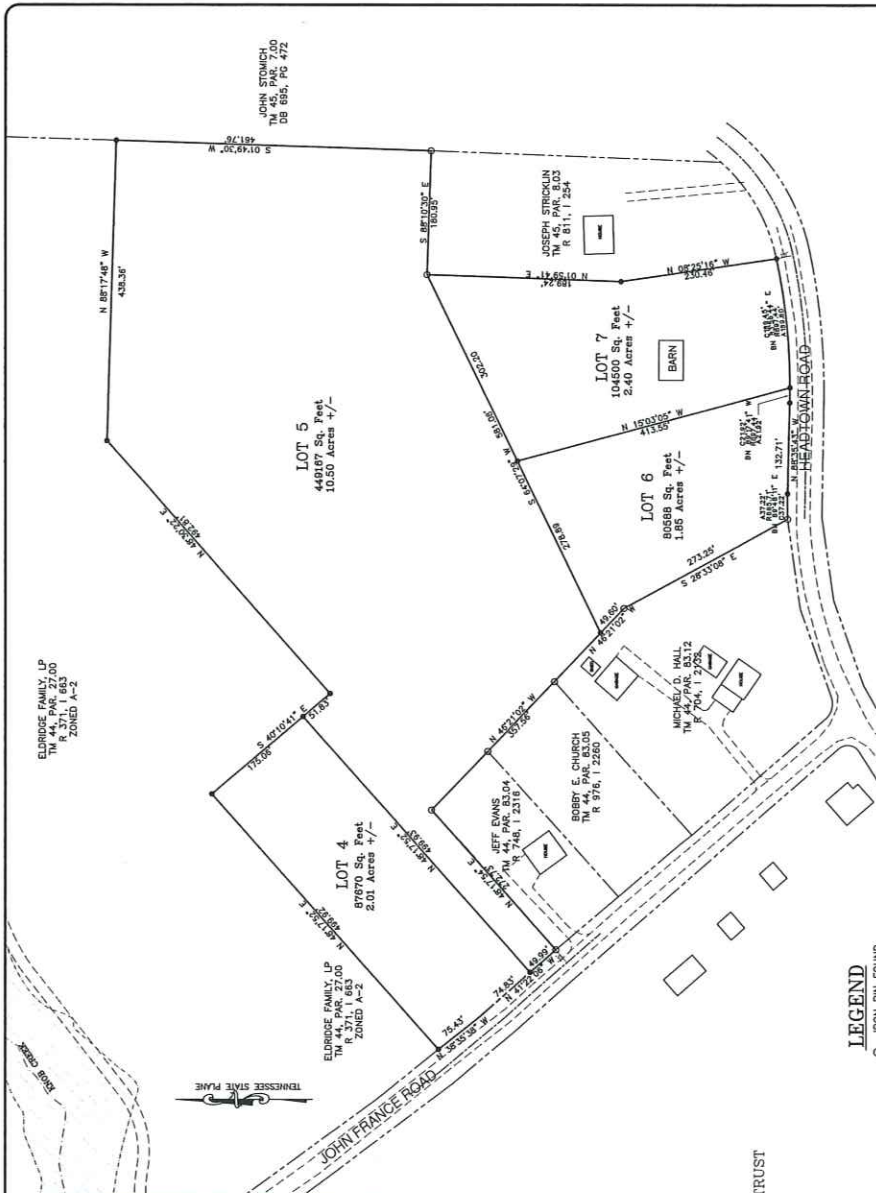
Staff continues to work with the owner and surveyor to obtain all the required certifications on the final plat.

RECOMMENDATION:

To be provided at the time of the meeting.



VICINITY MAP
NOT TO SCALE



LEGEND
IRON PIN FOUND
RADIUS
ARC LENGTH
CL CHORD LENGTH

OWNER: ELDRIDGE COMMUNITY PROPERTY TRUST
BOX 4442
JOHNSON CITY, TN 37602

NOTES:
The subject property does not lie in a special flood hazard area as shown on the Flood Insurance Rate Map Number 47179D0140, effective date September 28, 2005.
Present Zoning A-2, Washington County.
Any pin at all property corners and points of curvature unless otherwise noted.
This plat does not eliminate or change the dimensions or the locations of utility easements that are associated with any undiscovered underground utility.
The subject property is located on Washington County Tax Map 44, Parcel 027.01. Used Reference R 1014, 1 2225.



Benchmark Design, PLC ENGINEERING & SURVEYING 1000 W. Main Street, Suite 100 Johnson City, TN 37602 Tel: 423-752-1111 Fax: 423-752-1112 www.benchmarkdesign.com	CERTIFICATE OF APPROVAL OF WATER AND SANITARY SERVICE SYSTEM I, the undersigned, being duly sworn, depose and say that the water and sanitary service system shown hereon has been found to comply with the applicable codes and regulations of the Department of Public Health and are hereby approved as shown.	CERTIFICATE OF APPROVAL FOR RECORDING I, the undersigned, being duly sworn, depose and say that the subdivision plat shown hereon has been found to comply with the applicable codes and regulations of the County of Washington and are hereby approved for recording in the office of the County Register.	CERTIFICATE OF OWNERSHIP AND DEDICATION I, the undersigned, being duly sworn, depose and say that I (we) hereby described hereon and that I (we) hereby dedicate to the public use of the County of Washington, Tennessee, all streets, alleys, roads, easements, and other rights shown hereon as dedicated to the public use of the County of Washington, Tennessee.	CERTIFICATE OF ACCURACY I, the undersigned, being duly sworn, depose and say that the survey performed by me or under my direct supervision and control, and the data used in the preparation of this plat, were obtained from reliable sources and that the same are true and correct in all particulars.
DATE: _____	DATE: _____	DATE: _____	DATE: _____	DATE: _____
CITY: _____	CITY: _____	CITY: _____	CITY: _____	CITY: _____
COUNTY: _____	COUNTY: _____	COUNTY: _____	COUNTY: _____	COUNTY: _____

ELDRIDGE SUBDIVISION LOTS 4 - 7
JONESBOROUGH REGIONAL PLANNING COMMISSION
TOTAL ACRES 16.57 AG. TOTAL LOTS 4
ACRES NEW ROAD 0 MILES NEW ROAD 0
OWNER ELDRIDGE COMM. PROP. TRUST CIVIL DISTRICT 11TH
SURVEYOR BENCHMARK DESIGN, PLC CLOSURE ERROR 1:10000
SCALE 1"= 100'

JONESBOROUGH PLANNING COMMISSION

AGENDA PRESENTATION

DATE: May 20, 2025 AGENDA ITEM #: 9

SUBJECT: Home Occupation Permit - Located at 229 Spring Street

BACKGROUND:

A request has been received from property owner Renee Johnson, located at 229 Spring Street to establish a home occupation in an outbuilding located on the same lot as the primary residence. The proposed use is to hand pour candles and wax melt (Cozy Cottage Candles) and ship to customers with **no retail sales**. The subject property is zoned R-2 which allows any use in the R-1 zone, which contains the regulations for home occupations. The following regulations apply:

The planning commission may approve an incidental home occupation that is carried out in an **outbuilding located on the same lot** as the primary residence/building, with the following conditions: The space utilized for the home occupation in the outbuilding is based on the calculation for eligible livable space allowed in the primary building, and the area proposed in the outbuilding is instead of space used in the primary building.

The total square footage of the outbuilding is 400 square feet. The building will include space for one car for a total of 250 square feet for the business. A home occupation shall not utilize more than 1/3 the area of the principal building or a maximum of 500 square feet. The **1/3 amount is 320 square feet**, and the proposed square footage of home occupation usable space in the building is **250 square feet**. At present time, the outbuilding has not been placed on site. The building will require a permit and meet all applicable codes.

RECOMMENDATION:

Approve the home occupation permit for the proposed business based on the presented 250 square feet.

Provide site plan parking arrangements for visitors or employees personal garage does
not exist yet cement pour May 1

Approved by Planning Commission _____ Date _____

Secretary of Planning Commission

THE OLDEST TOWN IN TENNESSEE



TOWN OF JONESBOROUGH

123 BOONE STREET
JONESBOROUGH, TN 37659
TELEPHONE (423) 753-1030
FAX (423) 753-1074

APPLICATION FOR INCIDENTAL HOME OCCUPATION PERMIT

Applicant Name Renee E. Johnson
Address of Home Occupation (Street Address) 229 Spring St 380 37659
Zoning _____
Name of Proposed Home Occupation Cozy Cottage Candles LLC
Home Phone _____ Cell Phone [REDACTED]
E-Mail [REDACTED]
Property Owner Name (If different from applicant) _____
Property Owner Address _____
Property Owner notified (If different from applicant) _____

Briefly describe your proposed business and the business activity at the residence:

Hand pour candle & wax melt - ship to customers
Zero retail at the home

Note: Attach additional comments if needed

Total livable area of residence 960

Total square footage of residence: 960 Square footage used for Business: 96

Will any signage be erected at this location? _____ If yes, please attach a drawing of the sign

Note: Sign area limited to 2.25 square feet

Describe all products, articles or services connected with home occupation:

wax jars tins wicks crockpot/melter shipping
supplies

Note: Retail sales are generally prohibited through a Customary Incidental Home Occupation. If products are produced for sale, describe products, and why sales out of the home should not be considered prohibited retail sales. Attach comments if needed,

Describe the portion of the home to be used for this home occupation:

Home office
The garage/shop will be where the candles are
made & boxed. 25'x16' = 400 sq ft

Will customers call at this location by phone or in person? website/call

What, if any, commodities will be stored on the premises? wax jars candles containers boxes

Describe any business vehicle which will be used for this home occupation personal SUV

Will business be conducted entirely within the home? home office + garage

Is business in an accessory building? yes If so what is square footage 400

Did accessory building pass code inspection? May 2025 to be built

Is site plan attached to Application _____

Are there restrictions and if so provide documentation of subdivision restrictions that might impact the appropriateness of the home occupation Yes _____ No X

Is there a Home Owner's Association Yes _____ No X

Name and Address of Home Owner's Association or designated person who facilitates communication within the subdivision N/A

**Jonesborough Public Safety Department
123 Boone Street, Jonesborough, TN 37659
423.753.1053**

Business Directory Contact Form

The Contact Information on this form is shared between the Jonesborough Police Department and the Jonesborough Fire Department to facilitate communication in an emergency situation. It is important that Jonesborough officers and firefighters know who to call after hours if a fire or other emergency situation related to your business occurs.

DATE OF LISTING 4/14/25
BUSINESS NAME Cozy Cottage Candles LLC
STREET / BUILDING ADDRESS 229 Spring St
BUSINESS PHONE NUMBER [REDACTED]
OWNER/HOME PHONE # [REDACTED] OWNER /CELL PHONE # [REDACTED]
KEY HOLDER NAME (1) Renee Johnson PHONE: [REDACTED]
KEY HOLDER NAME (2) [REDACTED] PHONE: [REDACTED]
BUILDING OWNER [REDACTED] PHONE: [REDACTED]
MISCELLANEOUS INFORMATION [REDACTED]

I HAVE RECEIVED A COPY OF THE ATTACHED LETTER DETAILING CERTIFICATE OF OCCUPANCY, SIGN PERMIT AND BUILDING PERMITS

SIGNED: Renee E Johnson DATE: 4/14/25
CONTACT HAS BEEN MADE WITH JONESBOROUGH'S BUILDING INSPECTOR

DATE: _____
Jonesborough Building Inspector 423.753.1035

IMPORTANT – This sheet must be completely filled out before Application is returned.

I have received a copy of and read the Business License Applicant information sheet in the Business License Packet that details guidelines for a Certificate of Occupancy, Business Sign Permit, and Building Permit. I also understand that I must have a Certificate of Occupancy to open a store, and to obtain that certification I must contact the Jonesborough Building Inspector 423-723.1035.

SIGNED: Renee E Johnson DATE: 4/14/25

Please return the Business Directory Contact Form with the Business License Application



Town of Jonesborough Business Tax Minimal Activity Business License

COZY COTTAGE CANDLES, LLC
COZY COTTAGE CANDLES, LLC
229 SPRING STREET
JONESBOROUGH, TN 37659

Date Issued: 04/14/2025
Business Tax Classification: 3
This license is valid for the Tax Period:
01/01/2025 to 12/31/2025
Expiration: 05/15/2026
Next Due By: 04/15/2026
License Type: New
License Number: 2026 1036
Local Tax Account #: 1160
Location ID #: 1001829692
Status: 04/14/2025

Effective January 1, 2014, counties and cities will issue a minimal activity business license to any person with annual sales of more than \$3,000 but less than \$100,000 per year within a jurisdiction.

The minimal activity license will be issued upon receipt of an application and payment of a \$15 fee. The applicant must attest that the applicant is engaged in business within the county or incorporated municipality and has sales of less than \$100,000 per year within the jurisdiction. No person with sales of more than \$3,000 but less than \$100,000 per year can engage in business in the jurisdiction without first obtaining the minimal activity license.

If a person has more than one location in the jurisdiction, a separate minimal activity license and \$15 fee is required for each location. Any person obtaining a minimal activity license must display the license in the person's place of business. Persons with \$3,000 or less in annual sales in any incorporated municipality or county may, but are not required to, have a minimal activity license.

Each minimal activity license will expire thirty days after the end of what would be the taxpayer's filing period if the person were filing a business tax return. Each year, a new minimal activity license must be obtained for each of the person's locations if the person will meet the qualifying gross receipts criteria; another \$15 license fee must be paid for each new minimal activity license.

In any year in which a person's gross receipts in the jurisdiction are \$100,000 or more, the person will be required to file a regular business tax return for the tax year with the Tennessee Department of Revenue.

DETACH LICENSE BELOW AND DISPLAY IN PUBLIC AREA

Town of Jonesborough Business Tax Minimal Activity Business License

This certificate must be publicly displayed

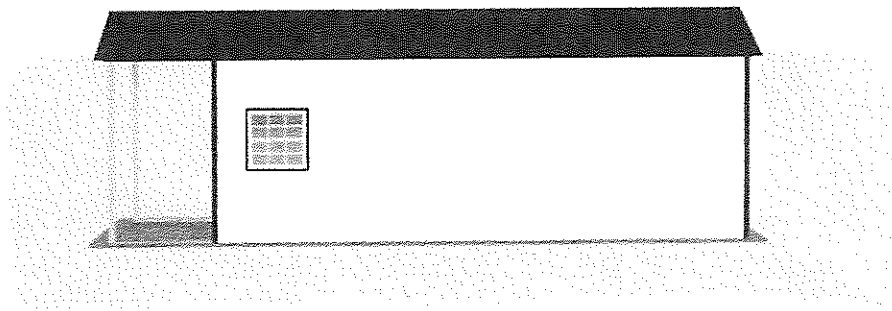
COZY COTTAGE CANDLES, LLC
COZY COTTAGE CANDLES, LLC
229 SPRING STREET
JONESBOROUGH, TN 37659



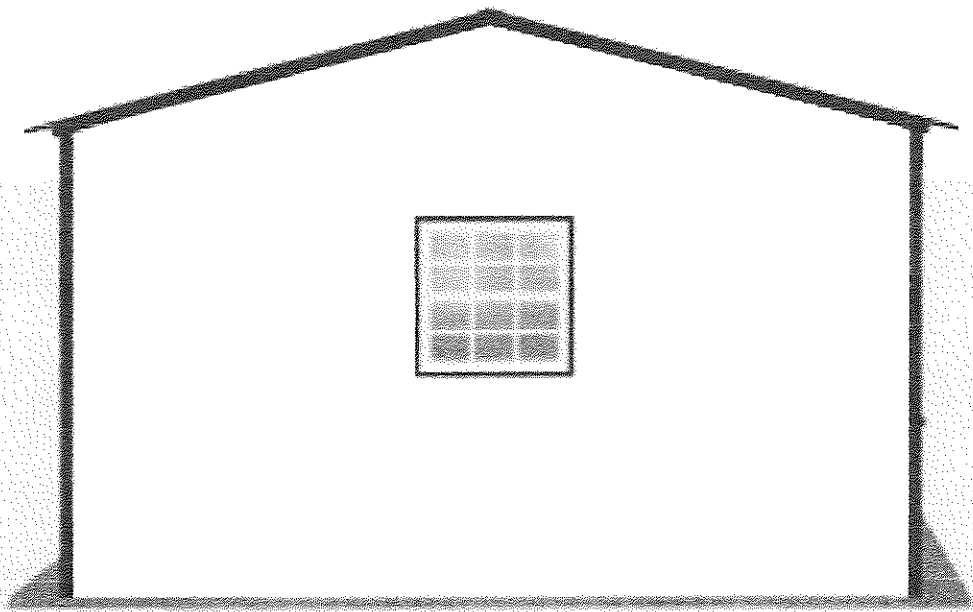
Date Issued: 04/14/2025
Business Tax Classification: 3
This license is valid for the
Tax Period: 01/01/2025 to 12/31/2025
Expiration: 05/15/2026
Next Due By: 04/15/2026
License Type: New
License Number: 2026 1036
Local Tax Account #: 1160
Location ID #: 1001829692
Status: 04/14/2025

Authorized Official, by

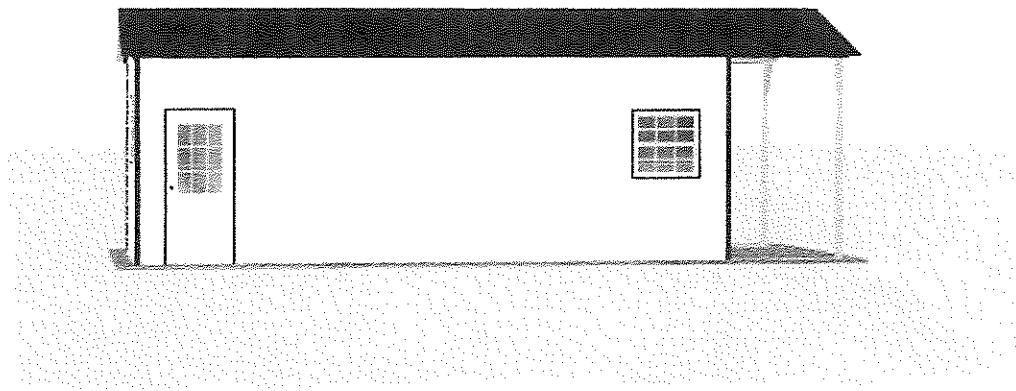
Kimberly Clouse



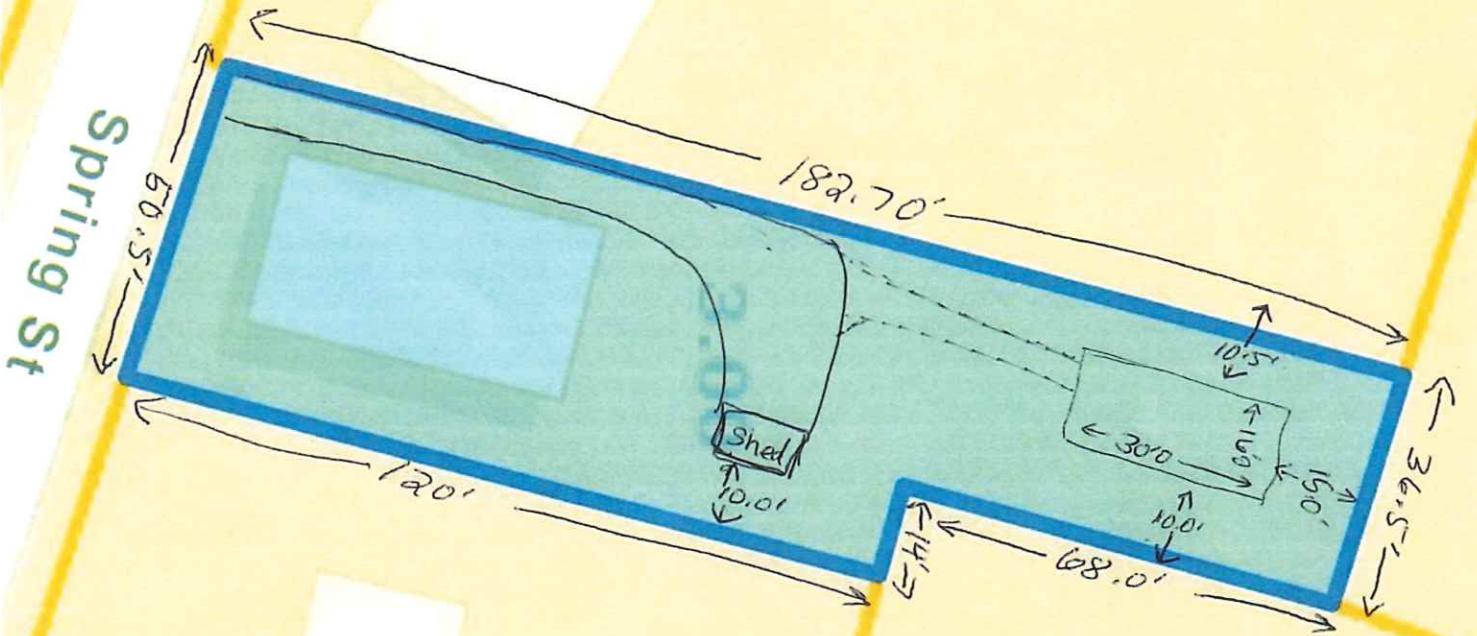
Rue E. Pham



Rue E. Pham



Rue & Pham



Black Roof
trim

White siding
doors
windows



QUOTATION AND PURCHASE CONTRACT

Rene Johnson
renne.e.johnson71@gmail.com
Cozy Cottage Candles LLC

Fabricate & Print: 2'6" x 2' Single face, non-illuminated, ACM panel with supplied logo digitally printed and applied

Price:\$125

Price:\$125

Tax: \$11.88

Permit Fee: \$NA

Acquisition Fee:\$NA

Total: \$136.88

The above prices, specifications, and conditions are satisfactory and are hereby accepted. Foster Signs is hereby authorized to do the work as specified.

PURCHASE ORDER # _____

A convenience fee of 3.5% will be added to Credit Card payments.
Checks and ACH are accepted.

Thank you!

Purchaser: _____ Foster Signs, Inc. Austin Brown _____ (SIGNATURE)

Title: _____ Date _____ Austin Brown, Sales Associate Date 04/16/2025



JONESBOROUGH PLANNING COMMISSION

AGENDA PRESENTATION

DATE: May 20, 2025 AGENDA ITEM #: 10

SUBJECT: Site Plan & Grading Security for Wolfe-Boones Creek Phase 3

BACKGROUND:

The request is for site plan approval for the Construction Plans for Wolfe-Boones Creek Phase 3 located off Boones Creek Road and a part of the "Reserve at Boones Creek" residential development, and further described on Washington County Tax Map 52, Part of Parcel 70.00. The overall preliminary plans for Wolfe-Boones Creek was approved by the Planning Commission in April 2021.

Attached is the site plan, and the following is a review of the site plan:

Developer: Wolfe Development GP

Engineer: Todd Wood, DTWood

Zone: The property is within the town limits and is zoned Planned Residential District (PRD).

Proposed Use: Continue with multi-family townhome units as a Planned Unit Development.

Density: The proposed development meets the density of the zoning district. The total site area permits for 197 dwelling units but is proposed for 130 dwelling units. Phase 3 consists of 18 dwelling units.

Setbacks: Front 20 feet; Rear 25 feet and Side 7.5 feet.

Site Area: Phase 3 is part of the overall development plan of 24.7 acres.

Ingress/Egress: The development's major access point is through the existing portion of development identified as "Section 1" or said section of The Reserves at Boones Creek. Within the development there are internal connecting streets as shown on the site plan.

Streets: The street proposed is public and 24 feet wide paved.

Sidewalks: A trail system has been previously approved by the Planning Commission as part of the comprehensive pedestrian plan for the entire development, therefore no in lieu of sidewalk fee is required.

Utilities: All utilities are available at the site for Phase 3. The site plan includes 1 fire hydrant to be installed by the developer.

Stormwater: According to the development's engineer Todd Wood there is an overall stormwater plan for the comprehensive development plan. There will be additional phases across the valley and up the hill in the near future. At the time of presenting the construction plans for the future Phase 4, the plan will include the design and construction of a large stormwater pond for phase 3, 4, and the remaining phases. Currently, a detention pond is not needed because of the size of the open space the water from Phase 3 flows through and the size of the drainage area through the property.

Bonding: The Grading Permit Security Calculation Form was completed and totaled \$15,770.00.

RECOMMENDATION:

1. Approve the development layout for grading, road, stormwater, and utility plans, as presented.
2. Approve the grading security in the amount of \$15,770.00.



TOWN OF JONESBOROUGH

123 BOONE STREET
JONESBOROUGH, TN 37659
TELEPHONE (423) 753-1030
FAX (423) 753-1074

Grading Permit Security Calculation Form

Wolfe-Boones Creek Phase 3

(previous calculations were for grading only. We've added more items related to the improvements for Phase 3 in red)

The purpose of this form is to calculate the security amount needed to protect adjoining and downstream properties and streams in case the development fails to complete the required improvements and the site is left in an un-stabilized condition.

Erosion and Sediment Control Devices

(perimeter plus any items associated with storm drain or stormwater management systems noted below)

- | | |
|--|--------------------------|
| 1. 1 construction exit @ \$500/EA | = \$500 |
| 2. 350 LF of wire backed silt fence @ \$5/ LF | = \$1750 |
| 3. 400 790 LF of silt fence @ \$3/ LF | = \$1200 2370 |
| 4. 4 check dams @ \$100 / EA | = \$400 |
| 5. 2 inlet protection @ \$100/ea | = \$200 |

Storm Drain System

(only items, if any, needed to protect adjoining and downstream properties)

Stormwater Management System

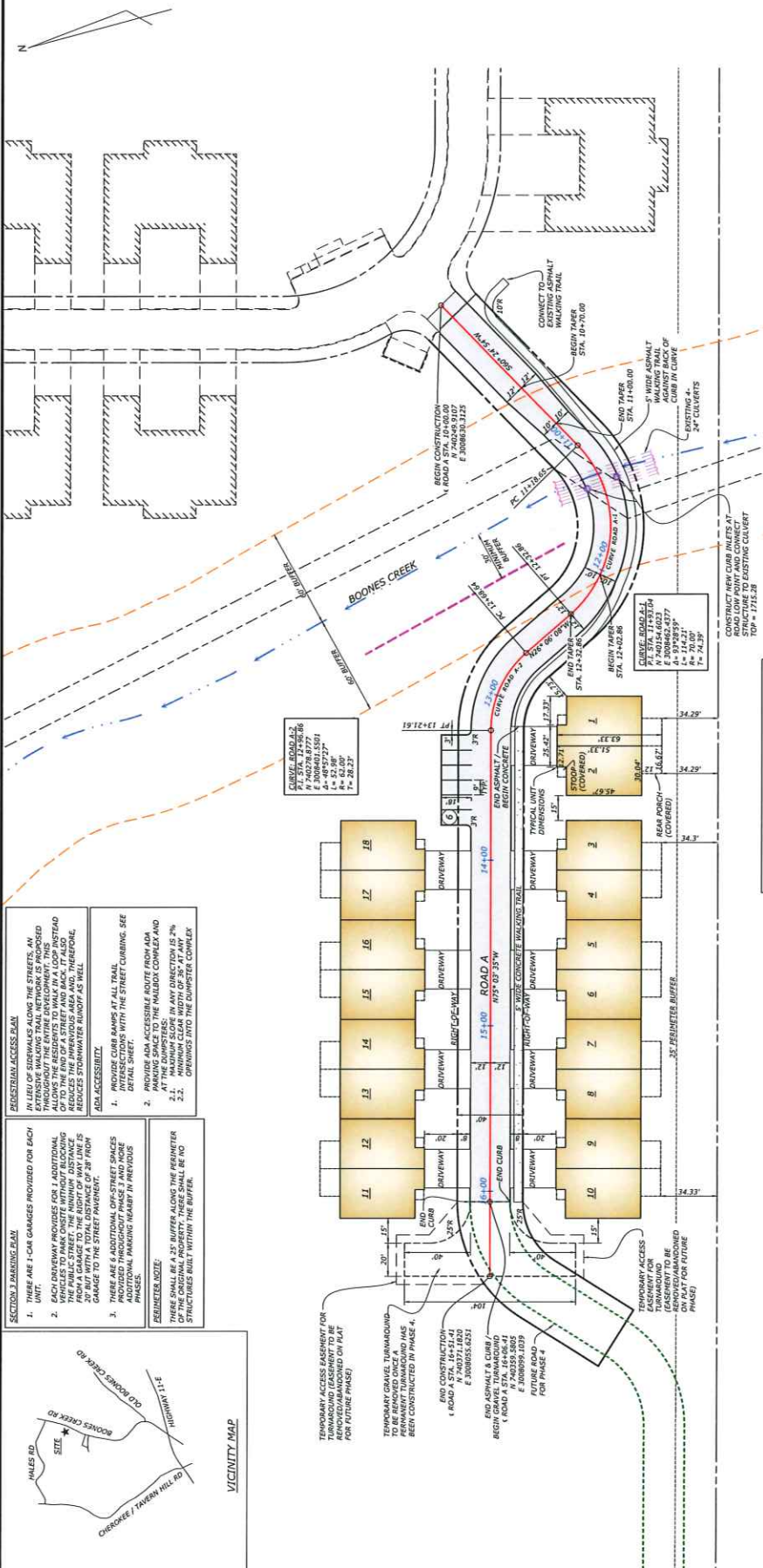
(only items, if any, associated with detention)

Soil Stabilization

- | | |
|--|-----------------------------|
| 1. 95,832 104,550 SF of disturbed area @\$0.10 / SF | = \$9,580 10,455 |
|--|-----------------------------|

TOTAL SECURITY REQUIRED = ~~\$13,430~~ 15,770

THE OLDEST TOWN IN TENNESSEE



EXISTING UNDERGROUND UTILITIES

THE CONTRACTOR SHALL VERIFY THE QUANTITY OF UTILITIES REQUIRED TO CONSTRUCT THIS PROJECT. THE QUANTITY OF UTILITIES SHALL BE PROVIDED ON THESE PLANS OR ANOTHER DOCUMENT.

QUANTITY OF INTERESTS NOTE

THE CONTRACTOR SHALL VERIFY THE QUANTITY OF UTILITIES REQUIRED TO CONSTRUCT THIS PROJECT. THE QUANTITY OF UTILITIES SHALL BE PROVIDED ON THESE PLANS OR ANOTHER DOCUMENT.

UNDERGROUND UTILITY NOTE

ALL ELECTRICAL, PHONE, CABLE, ETC. SERVICES AND UTILITIES SHALL BE UNDERGROUND.

STREET LIGHTING NOTE

STREET LIGHTING SHALL BE AS AVAILABLE THROUGH THE SUBDIVISION. THE CONTRACTOR SHALL MATCH THE EXISTING LIGHTS IN THE SUBDIVISION.

SEWERAGE NOTE

SEWERAGE IS RESPONSIBLE FOR PURCHASE AND INSTALLATION OF ALL STREET SEWAGE INCLUDING STOPS, SPEED LIMIT, AND PARKING SIGNS. INSTALL IN ACCORDANCE WITH THE TOWN OF JOHNSBOROUGH SPECIFICATIONS.

SPEED LIMIT

SPEED LIMIT FOR ALL STREETS SHOULD BE 20 MPH.

SECTION 3 PARKING PLAN

1. THERE ARE 1-CAR GARAGES PROVIDED FOR EACH UNIT.

2. EACH DRIVEWAY PROVIDES FOR 1 ADDITIONAL VEHICLE TO PARK ON SITE WITHOUT BLOCKING DRIVEWAY OR ACCESS TO STREET.

3. THERE SHALL BE A 30' BUFFER ALONG THE PERIMETER OF THE PROPERTY. THE BUFFER SHALL BE NO STRUCTURES BUILT WITHIN THE BUFFER.

REMARKS:

1. TEMPORARY GRAVEL TURNAROUND TO BE REMOVED ONCE A PERMANENT TURNAROUND IS CONSTRUCTED.

2. TEMPORARY GRAVEL TURNAROUND TO BE REMOVED ONCE A PERMANENT TURNAROUND IS CONSTRUCTED.

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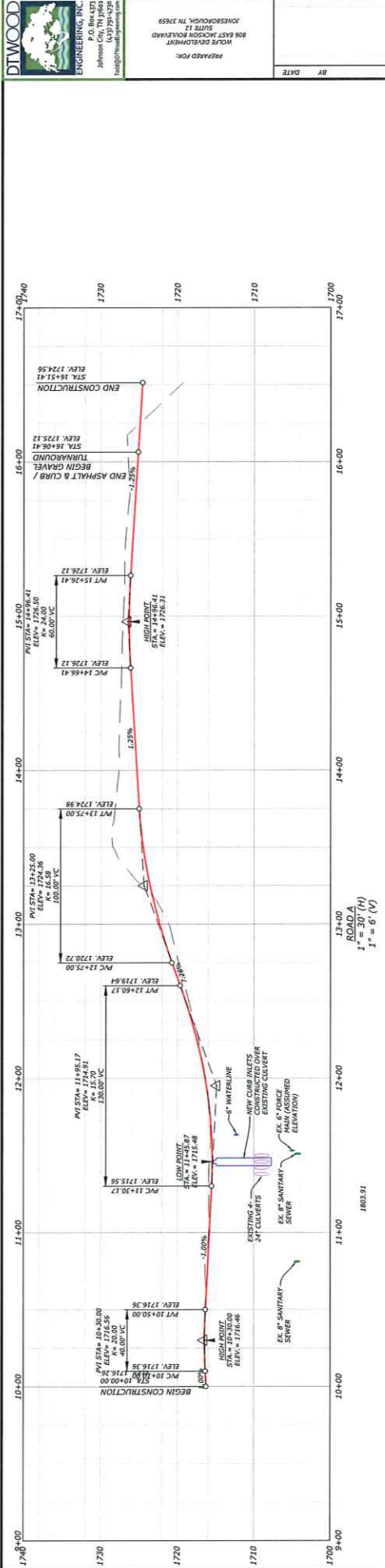
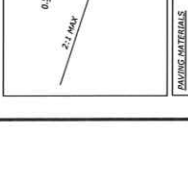
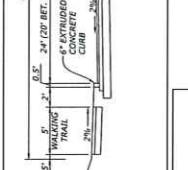
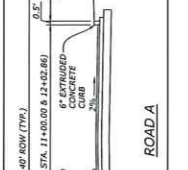
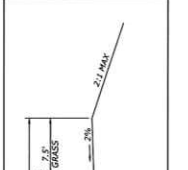
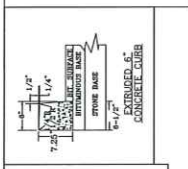
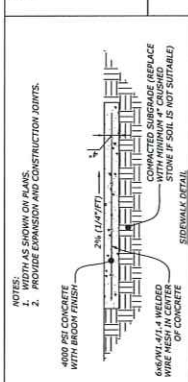
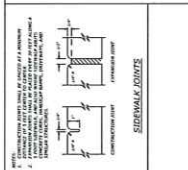
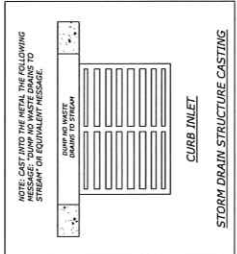
3. TEMPORARY GRAVEL TURNAROUND TO BE REMOVED ONCE A PERMANENT TURNAROUND IS CONSTRUCTED.

- REVISIONS: 1. 4/24/2023
2. 4/24/2023
3. 4/24/2023



NOTES:
1. ALL INFORMATION PROVIDED BY:
2. NCCO LAND SURVEYING
3. 10000 BOONES CREEK RD. S.W.
4. JONESBOROUGH, TN 37359
(423) 753-9182

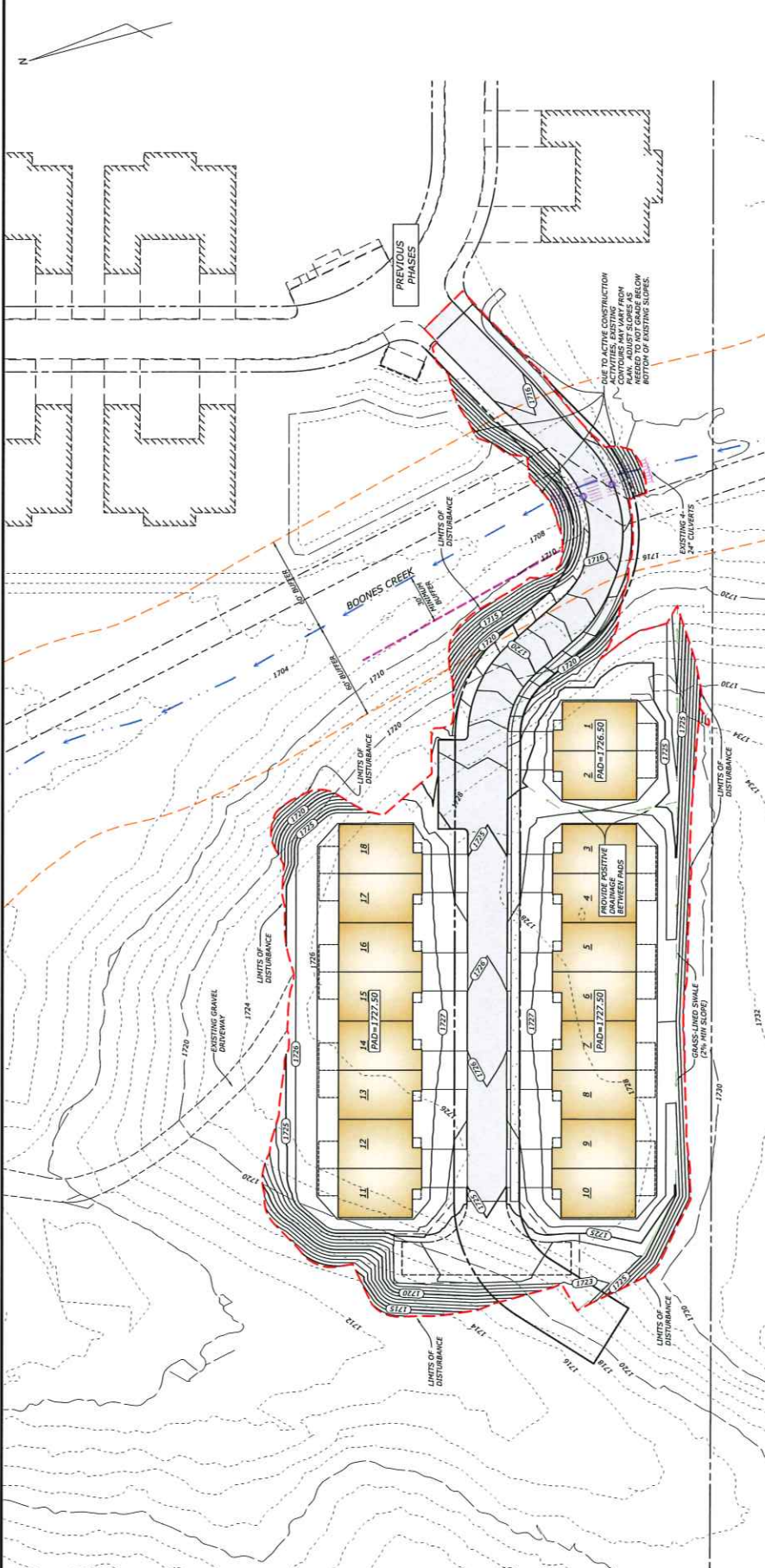
ROADWAY PROFILE & DETAILS
WOLFE BOONES CREEK - SECTION 3
BOONES CREEK ROAD
JONESBOROUGH, TENNESSEE



DTWOOD ENGINEERING, INC.
10000 BOONES CREEK RD. S.W.
JONESBOROUGH, TN 37359
(423) 753-9182
info@dtwood-engineering.com

PREPARED FOR:
BOB EAST JAMESON ROULEAND
SUITE 12
JONESBOROUGH, TN 37359

NO. _____
REV. _____
DATE _____



TOTAL AREA TO BE DISTURBED:
2.4 ACRES

SURVEY NOTE:
ALL INFORMATION PROVIDED BY:
FELCO LAND SURVEYING
10000 Highway 100
JONESBOROUGH, TN 37603
(423) 752-9192



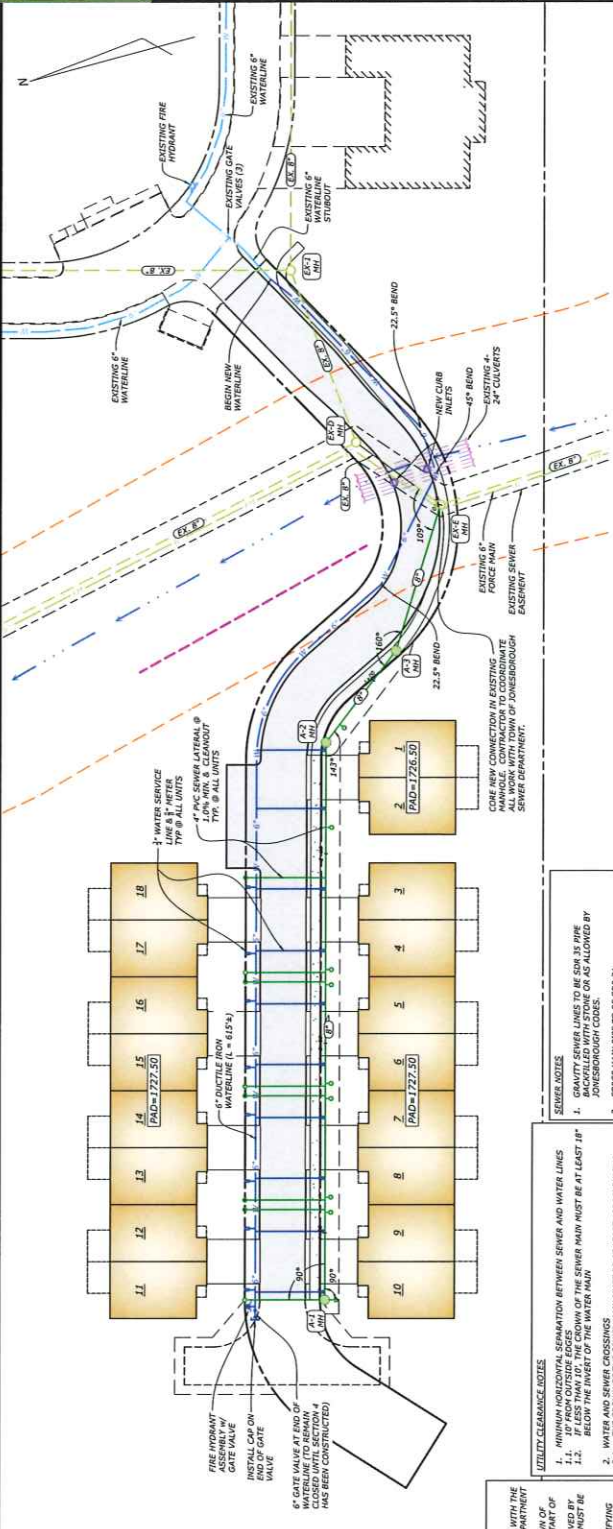
- EXPLANATIONS:**
- PROFESSIONAL ENGINEER'S SEAL AND SIGNATURE REQUIRED FOR ALL PLANS.
 - ALL INFORMATION PROVIDED BY FELCO LAND SURVEYING IS BASED ON A SURVEY CONDUCTED ON 12/24/2023. THE SURVEY WAS CONDUCTED BY FELCO LAND SURVEYING, INC., A PROFESSIONAL SURVEYING FIRM LICENSED IN THE STATE OF TENNESSEE.
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MASS GRADING NOTE:
THE INITIAL GRADING & EROSION CONTROL PLAN WAS APPROVED BY THE TNSD ON 12/24/2023. THE INITIAL GRADING & EROSION CONTROL PLAN WAS APPROVED BY THE TNSD ON 12/24/2023.

STORMWATER POLLUTION PREVENTION PLAN NOTE:
THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP), THE NOTICE OF COVERAGE (NOC), THE INSPECTION LOGS, THE EROSION CONTROL PLAN, THE SLOPE STABILIZATION PLAN, THE APPROVED SET OF SITE DEVELOPMENT CONSTRUCTION PLANS SHALL BE KEPT ON-SITE AND AVAILABLE TO INSPECTORS DURING ALL NORMAL WORKING HOURS.

EXISTING UNDERGROUND UTILITIES:
THE CONTRACTOR SHALL VERIFY THE LOCATION OF EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION FOR LOCATION OF EXISTING UNDERGROUND UTILITIES.

QUANTITY OF MATERIALS NOTE:
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- NOTES**
1. WASTEWATER COLLECTION SYSTEM SHALL BE INSTALLED ON 12" RINGS, 15' SPACING, TO BE "DOUBLE PASTIC" OR "NON-SHRINK GROUT TO A WATERPROOF CONDITION".
 2. ALL MANHOLE JOINTS TO BE "DOUBLE PASTIC" OR "NON-SHRINK GROUT TO A WATERPROOF CONDITION".
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SURVEY NOTE
SURVEY INFORMATION PROVIDED BY:
JONESBOROUGH, TN 37559
JONESBOROUGH, TN 37559
JONESBOROUGH, TN 37559

WATER NOTES

1. TOWN MAINTENANCE ENDS AT THE WATER METERS.
2. MATERIALS SHALL BE AS ALLOWED UNDER TOWN CODES.
3. PROVIDE MINIMUM 3' OF COVER FOR WATER LINE.

SEWER NOTES

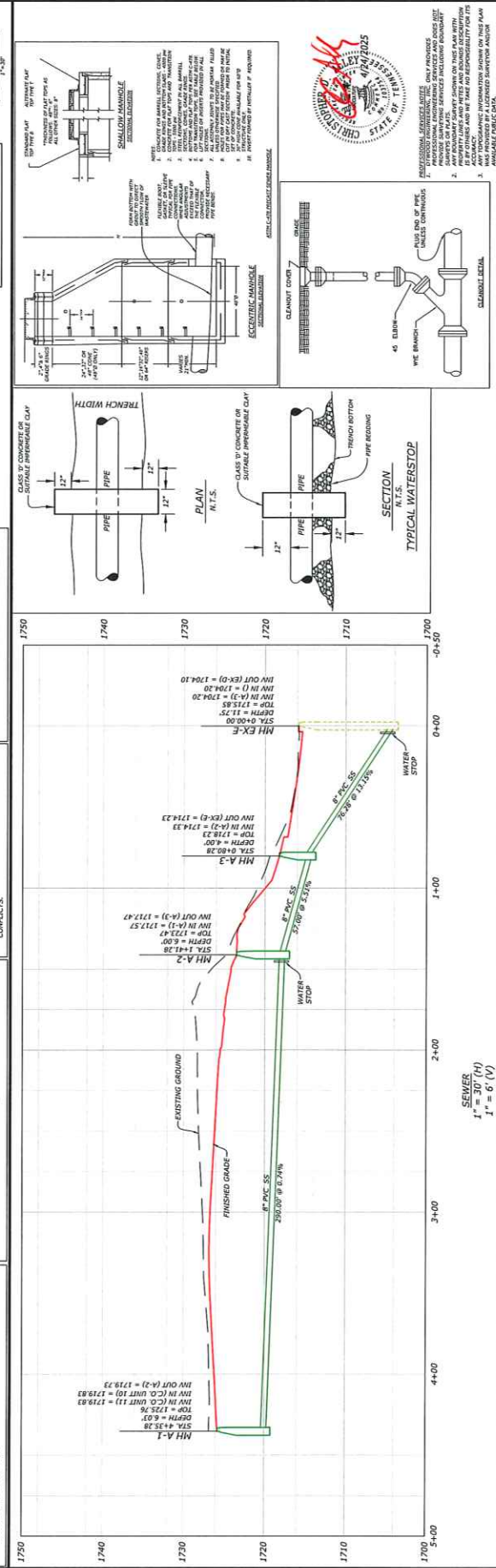
1. SANITARY SEWER LINES TO BE 4" DIA. PRECAST CONCRETE.
2. BACKFILL WITH STONE OR AS ALLOWED BY JONESBOROUGH CODES.
3. FORCE MAIN PIPE TO BE 24" DIA.
4. IF CLEANOUTS ARE LOCATED IN PAVEMENT AREAS THEY SHALL BE TRAFFIC BEARING.
5. VERIFY ALL EXISTING SEWER LOCATIONS AND DEPTHS BEFORE ORDERING SEWER MANHOLES AND PIPES. THE SEWER MAIN SHALL BE ENCASED IN CONCRETE TO PREVENT INTRUSION/INFLTRATION.

UTILITY CLEARANCE NOTES

1. MINIMUM HORIZONTAL SEPARATION BETWEEN SEWER AND WATER LINES SHALL BE 18" FROM OUTSIDE EDGES.
2. BELOW THE INVERT OF THE WATER MAIN.
3. IF CLEARANCES CAN NOT BE OBTAINED SEPARATION AS STIPULATED ABOVE, THE SEWER SHALL BE DESIGNED AND CONSTRUCTED TO ASSURE WATER-TIGHTNESS (SEE DRINKING WATER CRITERIA) OR THE JOINTS OF THE SEWER PIPE SHOULD BE ENCASED IN CONCRETE TO PREVENT INTRUSION/INFLTRATION.

TOWN OF JONESBOROUGH PUBLIC WATER AND SEWER GENERAL NOTE

1. ALL WATER AND SEWER LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS OF TOWN OF JONESBOROUGH AND TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION (TDEC).
2. ALL WATER AND SEWER LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS OF TOWN OF JONESBOROUGH AND TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION (TDEC).
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SEWER
1" = 30' (H)
1" = 6' (V)

CONTRACTOR SHALL MAINTAIN ALL EROSION & SEDIMENT CONTROL MEASURES IN PLACE UNTIL THE PROJECT IS COMPLETE. ANY REMOVAL OF EROSION & SEDIMENT CONTROL MEASURES SHALL BE DONE IN ACCORDANCE WITH THE FOLLOWING:

1. THE CONTRACTOR SHALL MAINTAIN ALL EROSION & SEDIMENT CONTROL MEASURES IN PLACE UNTIL THE PROJECT IS COMPLETE.
2. ANY REMOVAL OF EROSION & SEDIMENT CONTROL MEASURES SHALL BE DONE IN ACCORDANCE WITH THE FOLLOWING:
3. ANY REMOVAL OF EROSION & SEDIMENT CONTROL MEASURES SHALL BE DONE IN ACCORDANCE WITH THE FOLLOWING:



EROSION & SEDIMENT CONTROL LEGEND

CE: CHECK DAM
CD: CONSTRUCTION DISTURBANCE
ECM: EROSION CONTROL MEASURES
IP: INLET PROTECTION
OP: OUTLET PROTECTION
SF: SLOPE FENCE
SF-WB: SLOPE FENCE WITH BERM
SF-WB: SLOPE FENCE WITH BERM
SF-WB: SLOPE FENCE WITH BERM
SF-WB: SLOPE FENCE WITH BERM

MASS GRADING NOTE
FOR INITIAL GRADING & EROSION CONTROL MEASURES, THE CONTRACTOR SHALL MAINTAIN ALL EROSION & SEDIMENT CONTROL MEASURES IN PLACE UNTIL THE PROJECT IS COMPLETE. ANY REMOVAL OF EROSION & SEDIMENT CONTROL MEASURES SHALL BE DONE IN ACCORDANCE WITH THE FOLLOWING:

STORMWATER POLLUTION PREVENTION PLAN (SWPPP)
THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP), THE NOTICE OF COVERAGE (NOC), THE INSPECTION LOGS, THE EROSION & SEDIMENT CONTROL PLAN, AND THE SWPPP SHALL BE KEPT ON-SITE AND AVAILABLE TO INSPECTORS DURING ALL NORMAL WORKING HOURS.

- SEQUENCE OF CONSTRUCTION**
1. INITIAL GRADING & EROSION CONTROL MEASURES SHALL BE COMPLETED WITHIN 14 DAYS OF THE START OF CONSTRUCTION.
 2. ROUGH GRADE THE REMAINING PORTIONS OF THE SITE. TEMPORARILY STABILIZE WITHIN 14 DAYS OF COMPLETION OF ROUGH GRADING. FOR SLOPES STEEPER THAN 3:1, TEMPORARILY STABILIZE WITHIN 7 DAYS OF COMPLETION OF ROUGH GRADING. FOR SLOPES FLATTER THAN 3:1, TEMPORARILY STABILIZE WITHIN 14 DAYS OF COMPLETION OF ROUGH GRADING.
 3. CONTINUE TO MASS GRADE THE SITE. INSTALL CHECK DAMS & OUTLET PROTECTIONS ONCE THE SWALES HAVE BEEN GRADED.
 4. EROSION CONTROL MEASURES TO BE MAINTAINED IN PLACE FOR THE REMAINDER OF SECTION 3.
 5. RELOCATE CONSTRUCTION EXIT WITH MOUNTAINABLE STONE BERM TO EXISTING ROADWAY.
 6. CONSTRUCT BUILDINGS.
 7. CONSTRUCT BUILDINGS.
 8. CONSTRUCT BUILDINGS.
 9. CONSTRUCT BUILDINGS.
 10. ONCE ALL DISTURBED AREAS ARE STABILIZED WITH A THICK STAND OF GRASS OR OTHER VEGETATION, REMOVE SEDIMENT CONTROL DEVICES AND THEIR STABILIZER AFTER REMAINING DISTURBED AREAS ARE STABILIZED.

OUTLET PROTECTION IN-PLACE SCHEDULE

NOTE: PLANT ON FINE CLAY, STONE SHALL NOT BLOCK FLOW OF WATER. PLANT SHALL BE MAINTAINED UNTIL THE PROJECT IS COMPLETE.

1. KOREAN LEOPARDESS, AND SUMMER OATS AT 150#/ACRE (OR EQUIVALENT) SHALL BE APPLIED IN MARCH, APRIL, MAY, AND JUNE. IF SEEDING FROM NOVEMBER THROUGH FEBRUARY, BE TEMPORARILY UNDISTURBED.

2. IF SEEDING FROM NOVEMBER THROUGH FEBRUARY, BE TEMPORARILY UNDISTURBED.

3. IF SEEDING FROM NOVEMBER THROUGH FEBRUARY, BE TEMPORARILY UNDISTURBED.

4. IF SEEDING FROM NOVEMBER THROUGH FEBRUARY, BE TEMPORARILY UNDISTURBED.

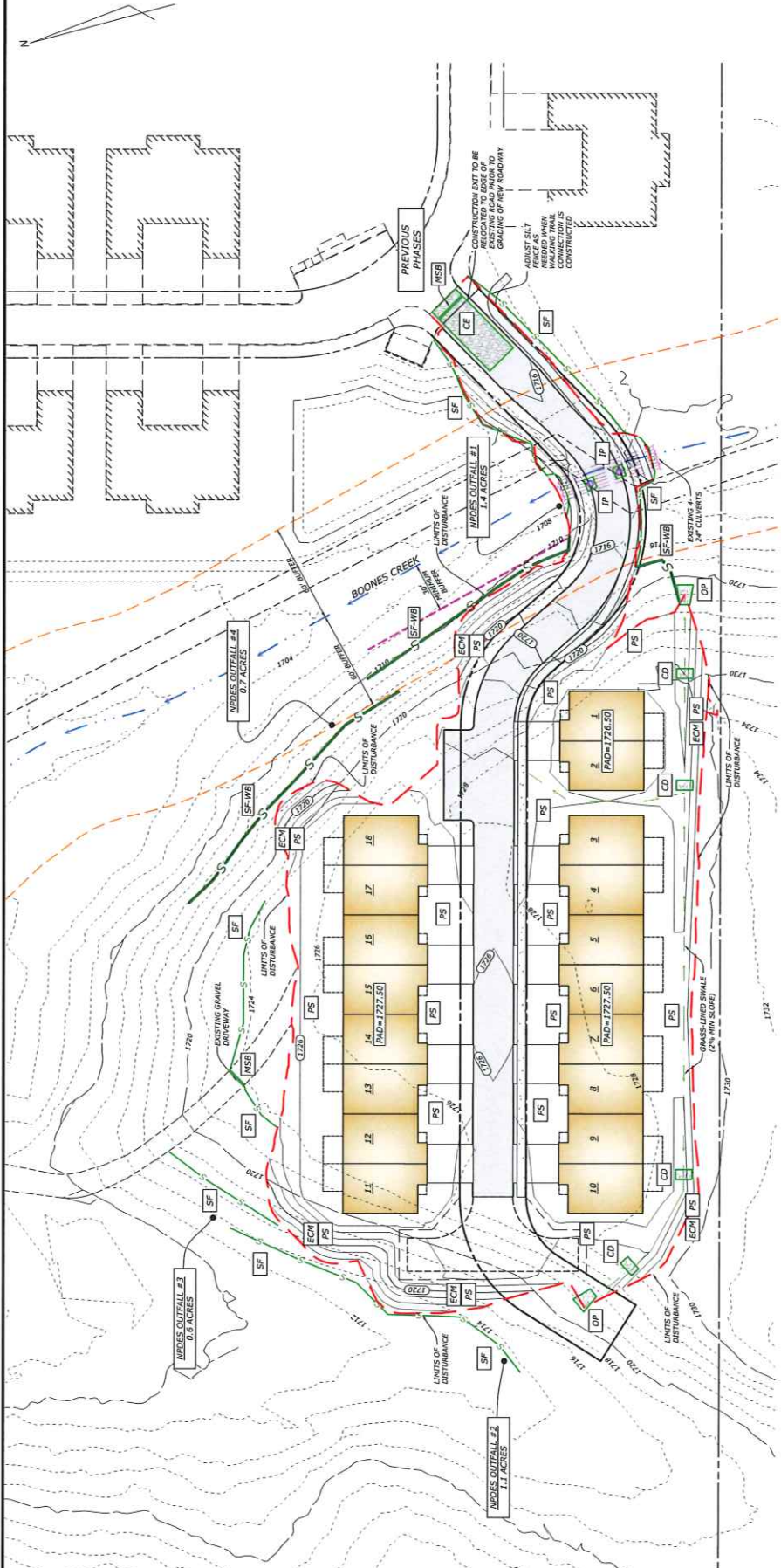
EROSION MAINTENANCE NOTE

1. REMOVE ACCUMULATED SEDIMENT FROM CHECK DAMS, SWALES, AND ALL SLOPES STEEPER THAN 3:1 WITH EROSION CONTROL HATTING BEFORE IT REACHES 50% OF THEIR HEIGHT.

2. THE CONTRACTOR SHALL MAKE EVERY EFFORT TO MAINTAIN ALL EROSION & SEDIMENT CONTROL MEASURES IN PLACE UNTIL THE PROJECT IS COMPLETE. ANY REMOVAL OF EROSION & SEDIMENT CONTROL MEASURES SHALL BE DONE IN ACCORDANCE WITH THE FOLLOWING:

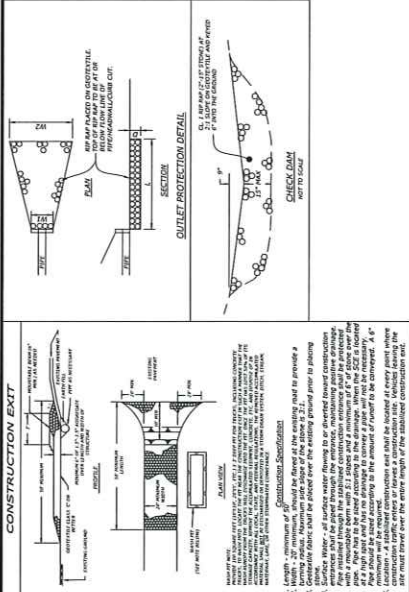
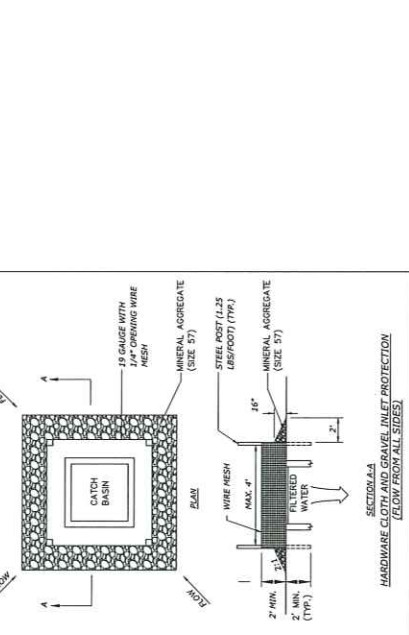
QUANTITY OF MATERIALS NOTE

THE CONTRACTOR SHALL VERIFY THE QUANTITY OF MATERIALS REQUIRED FOR THE PROJECT. ANY MATERIALS REQUIRED FOR THE PROJECT SHALL BE PROVIDED BY THE CONTRACTOR. ANY MATERIALS REQUIRED FOR THE PROJECT SHALL BE PROVIDED BY THE CONTRACTOR.



TOTAL AREA TO BE DISTURBED: 2.4 ACRES

Sediment controls shall be provided for any water distribution or waste disposal system onsite including sanitary sewer or septic systems.



PROFESSIONAL SERVICES NOTES
STUDIO ENGINEERING, INC. ONLY PROVIDES PROFESSIONAL ENGINEERING SERVICES AND DOES NOT PROVIDE SURVEYING SERVICES INCLUDING BOUNDARY SURVEYS OR PLATS.
ANY BOUNDARY SURVEY SHOWN ON THIS PLAN WITH PROPERTY LINES AND METES AND BOUNDS DESCRIPTION IS BY OTHERS AND WE TAKE NO RESPONSIBILITY FOR ITS ACCURACY.
ALL TOPOGRAPHIC INFORMATION SHOWN ON THIS PLAN WAS OBTAINED FROM A LICENSED SURVEYOR AND/OR AVAILABLE PUBLIC DATA.

JONESBOROUGH PLANNING COMMISSION

AGENDA PRESENTATION

DATE: May 20, 2025 AGENDA ITEM #: 11

SUBJECT: Chapman's Reserve Subdivision located off East Main Street

BACKGROUND:

The request is for site plan approval for the Construction Plans for Chapman's Reserve Subdivision located off E. Main Street and connecting to Chuck's Alley, and further described on Washington County Tax Map 52, Parcel 225.00.

Attached is the site plan, and the following is a review of the site plan:

Owner: Joseph Wilson

Engineer: Todd Wood, DTWood

Zone: The property is within the town limits and is split zoning R-1 Low Density Residential District and B-3 Arterial Business District (Split indicated on site plan as hashed lines located at Lot 32, and Lot 8 through 15).

Proposed Use: Single Family and Two-Family Residential

Density

The B-3 zoning density reverts to the R-3 zone and has a minimum lot size of 6,000 square feet. The proposed lot sizes are 7,440 square feet. The zone permits single family, two-family (duplex) and multi-family dwellings. Only single family and two-family dwellings are proposed in the area zoned B-3.

The R-1 zoning density has a minimum lot size of 15,000 square feet and permits single family dwellings.

The plans indicate a total of 32 single family dwellings – 1 dwelling per lot; and a total of 8 duplexes (16 dwelling units), for a total of 48 dwelling units. The plans as submitted **are less** than the allowable density of the property under the current R-1/B-3 zoning.

Setbacks: Front 30 feet; Rear 25 feet and Side 10 feet.

Site Area: 15.56 acres

Ingress/Egress*: The site plan shows a series of internal roads to be constructed as part of the development, including Road A, B, and C. There are 2 existing road systems shown on the plans that include access at E. Main Street and access at Chuck's Alley (Chuck's Alley connects from and to East Jackson Boulevard (Hwy 11-E). The construction entrance is located at E. Main Street.

Streets*: The streets proposed (Road A, B, and C) are public and 24 feet wide paved.

Sidewalks: It is proposed to construct a sidewalk along one side of the new street in the development; therefore, an in-lieu fee of sidewalk is required. The total fee is \$17,200.00.

Utilities: All utilities are available at the site. The site plan includes 3 fire hydrants to be installed by the developer.

Stormwater: A Stormwater Management Plan has been submitted as part of the site plan dated May 1, 2025.

Bonding: The Grading Permit Security Calculation Form was completed and totaled \$85,125.00.

*Comments on Ingress/Egress and Streets Proposed

Staff messaged the Engineer and developers when the plans were received on May 1, 2025, regarding the Planning Commission discussing multiple growth issues and that the Subdivision Regulations were being amended soon regarding traffic impact studies for residential and commercial developments.

The proposed development based on density permitted is well below the maximum allowed so the impact is less, however without a traffic impact study, staff is utilizing a trips per day number of 10 per residential dwelling. The site plan indicates 48 dwelling units or an estimated total of 480 trips per day. Of course, the number may be somewhat less or more depending on the circumstances of the day. The Subdivision Regulations contains language on "traffic impact study" as discussed at last month's Planning Commission meeting, and read as follows:

Sidewalk along Existing Streets

Sidewalks may be required along an existing public street when sidewalks presently exist upon property which directly adjoins the proposed subdivision or are located within 500 feet on the same side of the street, and the construction of such sidewalks is a component of an approved Pedestrian Access Plan. Sidewalks may be required along an existing public street when reconstruction of the existing street is proposed or is required by an approved traffic impact study.

The main concern of planning staff to include the Operations Manager/Public Safety Director and Chief of Police is primarily the ingress/egress for the development at Chuck's Alley, and that Chuck's Alley is not capable of handling the projected traffic load. When you have two vehicles in the left turn lane, it blocks traffic trying to exit Pal's and it blocks

access into the north entrance of the Medicine Shoppe. The other issue is connecting to Chuck's Alley will increase cut-through traffic from Pal's, Bojangles, and the Medicine Shoppe through the Chapman's Reserve Subdivision and onto E. Main Street. No traffic calming plans have been submitted or evaluated as part of the site plan. Traffic calming plans may not be required as the plans indicate the length of roads at what appears to be less than 500 feet (some are close however), but the developer does need to address traffic calming to address concerns of staff. The town should not be forced to address concerns after a development has already occurred. Anticipated traffic calming devices are the responsibility of the developer at the time of the development.

One of the options is extending the "Ex. 50' Transportation Easement" as indicated on the site plan to the Lowes Home Center located on Tax Map 52, Parcel 225.06. The cost has not been determined but the elevation and topographical challenges, and the distance of approximately 320 feet could reach as high as \$500,000.00 (unofficial estimate). The second option would be to remove the road median on East Jackson Boulevard and install a traffic signal. The recent bid for the mast-arm signalization project at Tiger Way is close to \$900,000.00, and it is estimated at \$1,000,000.00 at this intersection. More discussions with staff, including Public Safety, need to occur regarding mitigating concerns about traffic-related impacts on this project, and particularly Chuck's Alley connection.

Staff recommends the Planning Commission direct staff to work with the developer and engineer on ingress/egress and street related concerns as part of the site plan approval process.

RECOMMENDATION:

1. Approve the development layout for grading, road, stormwater, and utility plans.
2. Approve the grading security in the amount of \$85,125.00.
3. Approve the in-lieu of sidewalk fee in the amount of \$17,200.00.
4. Developers and Engineer work with town staff on addressing ingress/egress and street related concerns including, traffic impact from Chuck's Alley; traffic calming; and the potential of a traffic impact study.



TOWN OF JONESBOROUGH

123 BOONE STREET
JONESBOROUGH, TN 37659
TELEPHONE (423) 753-1030
FAX (423) 753-1074

Grading Permit Security Calculation Form

Chapman's Reserve Subdivision

The purpose of this form is to calculate the security amount needed to protect adjoining and downstream properties and streams in case the development fails to complete the required improvements and the site is left in an un-stabilized condition.

Erosion and Sediment Control Devices

(perimeter plus any items associated with storm drain or stormwater management systems noted below)

- | | |
|---|-----------|
| 1. 1 construction exit @ \$500/EA | = \$500 |
| 2. 950 LF of wire backed silt fence @ \$5/ LF | = \$4,750 |
| 3. 225 LF of silt fence @ \$3/ LF | = \$675 |

Storm Drain System

(only items, if any, needed to protect adjoining and downstream properties)

Stormwater Management System

(only items, if any, associated with detention)

- | | |
|---|------------|
| 1. 1 pond grading @\$20,000 / EA | = \$20,000 |
| 2. 1 riser @\$1000 / EA | = \$1,000 |
| 3. 60 LF of 18" HDPE outlet pipe @ \$25/ LF | = \$1,500 |

Soil Stabilization

- | | |
|---|------------|
| 1. 567,000 SF of disturbed area @ \$0.10 / SF | = \$56,700 |
|---|------------|

TOTAL SECURITY REQUIRED = \$85,125

THE OLDEST TOWN IN TENNESSEE



May 1, 2025

Mr. Glenn Rosenoff
Town Administrator
Town of Jonesborough

RE: Sidewalk Fee in Lieu
Chapman's Reserve

Dear Mr. Rosenoff:

We are requesting the Planning Commission approve the construction of a sidewalk along one side of the new street in the Chapman's Reserve subdivision. Below is the calculation to determine the fee in lieu for the other side of the street in accordance with the Town's ordinance.

Quantities

Total length of sidewalk waived=1530'

Sidewalk width=5'

Sidewalk area=1530' x 5'=7650 sf

Stone base volume (4" thick)=7650 sf x 0.33'=2525 cf

Stone base weight=2525 cf x 95#/cf=239875# /2000# per ton= 120 tons

Concrete volume (4" thick)=7650 sf x 0.33'=2525 cf / 27 cf per yard=94 cy

Cost

Compacted stone base=120 tons x \$18/ton=\$2160

Concrete=94 cy x \$160/cy=\$15040

Total=\$17,200

Please contact me if you have any questions or require additional information. Thank you.

Sincerely,

D. Todd Wood

D. Todd Wood, P.E.
President



DTWOOD
ENGINEERING, INC.
1400 S. MAIN STREET
JACKSON, TN 39201
(601) 379-9799
WWW.DTWOODENGINEERING.COM

HEATOWN RD
1400 S. MAIN ST
VICTINITY MAP

REVISIONS

NO.

BY

DATE

SITE PLAN

CHAPMAN'S RESERVE SUBDIVISION

E MAIN STREET

JONESBOROUGH, TENNESSEE

DATE: 5/1/2003

C1

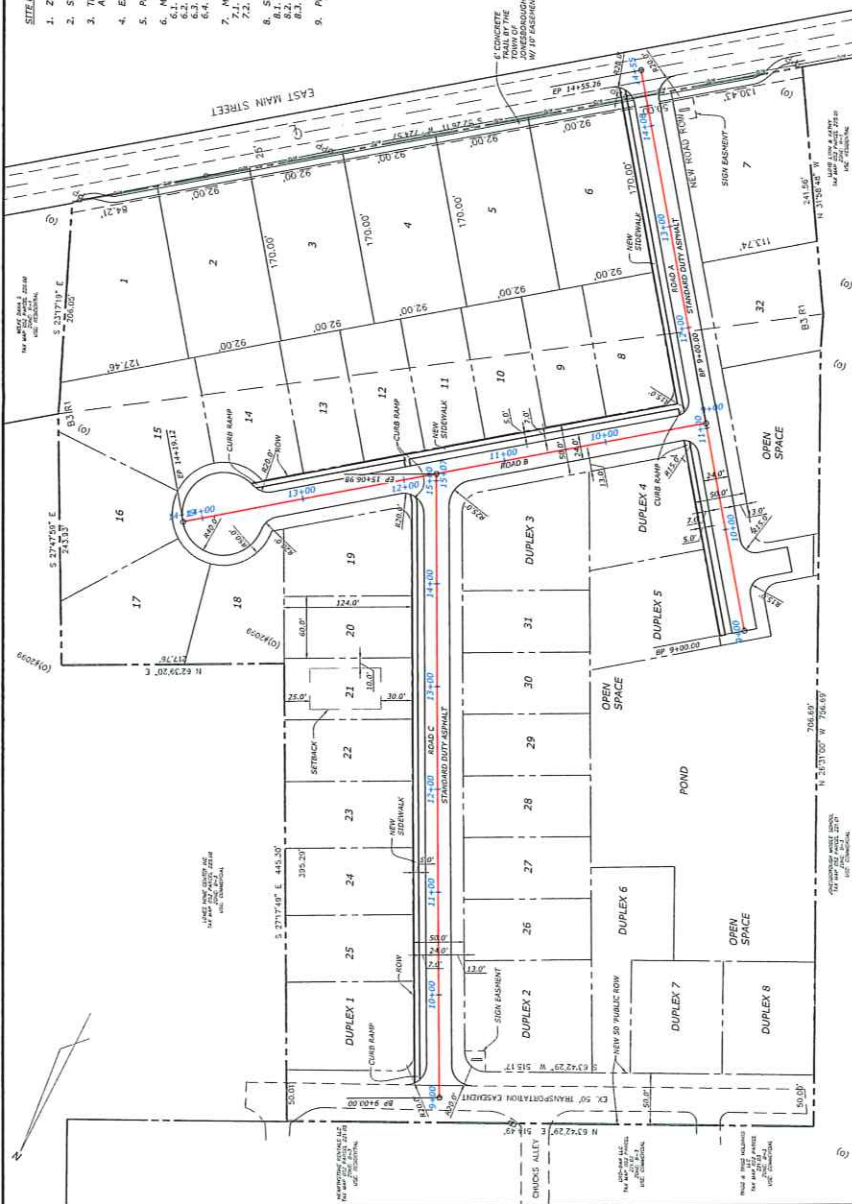
SHEET INDEX
C10 SITE PLAN
C11 SITE DETAILS
C12 GRADING PLAN
C13 UTILITY PLAN
C14 WATER DETAILS
C15 UTILITY DETAILS
C16 EROSION CONTROL
C17 EROSION CONTROL
C18 EROSION CONTROL
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C100 EROSION CONTROL

1" = 40'



PROFESSIONAL ENGINEER
D. WOOD
STATE OF TENNESSEE
No. 12345
Exp. 12/31/04

- SITE NOTES**
1. ZONE: B-3 & R-1
 2. SITE AREA: 14.0 ± ACRES
 3. THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA PER FEMA FIRM MAPS
 4. EXISTING USE: OPEN SPACE
 5. PROPOSED USE: SINGLE/TWO FAMILY RESIDENTIAL
 6. MINIMUM LOT SIZE PER R-3 ZONE
6.1. MINIMUM LOT ALLOWED: 6000 SF
6.2. MINIMUM LOT WIDTH PROVIDED: 60'
6.3. MINIMUM LOT WIDTH PROVIDED: 7400 SF
6.4. MINIMUM LOT WIDTH PROVIDED: 60'
 7. MINIMUM LOT SIZE PER R-1
7.1. MINIMUM LOT ALLOWED: 15000 SF
7.2. MINIMUM LOT WIDTH PROVIDED: 60'
 8. SETBACKS
8.1. FRONT: 30'
8.2. SIDE: 10'
8.3. REAR: 25'
 9. PROPERTY INFORMATION:
9.1. TAX MAP 052, PARCEL 255.00



- PARKING NOTE**
1. THERE ARE TWO (2) CAR SPACES PROVIDED FOR EACH UNIT.
 2. THE DEVELOPER SHALL PROVIDE SUFFICIENT PARKING SPACE TO ACCOMMODATE ALL VEHICLES WITHOUT REQUIRING THE USE OF ADJACENT STREETS OR PARKING AREAS.

ASB ACCESSIBLE
PROVIDE CURB RAMP, 1:12 MAXIMUM SLOPE, AND 24" MINIMUM CLEARANCE TO THE STREET. THE RAMP SHALL BE CONSTRUCTED WITH THE STREET CURBING. SEE DETAIL SHEET.

STANDARD DUTY ASPHALT
1. 2" STANDARD DUTY ASPHALT
2. 1.5" STANDARD DUTY ASPHALT
3. 1.5" STANDARD DUTY ASPHALT
4. 4" 4000 PSI 40% CEMENT CONCRETE

ELECTRIC AND STREET LIGHTING NOTE
CONTACT TENNESSEE ELECTRIC FOR ELECTRIC AND STREET LIGHTING. THE DEVELOPER SHALL PROVIDE SUFFICIENT SPACE FOR THE INSTALLATION OF STREET LIGHTS AND ELECTRICAL SERVICE. SEE DETAIL SHEET.

SEWERAGE NOTE
THE DEVELOPER IS RESPONSIBLE FOR PROVIDING AND INSTALLING SEWERAGE SYSTEMS IN ACCORDANCE WITH THE TOWN OF JONESBOROUGH SPECIFICATIONS. SEE DETAIL SHEET.

PUBLIC IMPROVEMENT DEDICATION NOTES
THE ROAD ADJACENT TO THE PROPERTY AND THE ROAD ADJACENT TO THE PROPERTY SHALL BE DEDICATED TO THE TOWN OF JONESBOROUGH. THE DEDICATION SHALL BE IN ACCORDANCE WITH THE TOWN OF JONESBOROUGH SPECIFICATIONS. SEE DETAIL SHEET.

SEWERAGE NOTE
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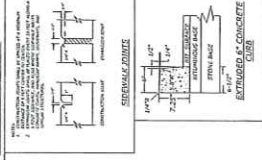
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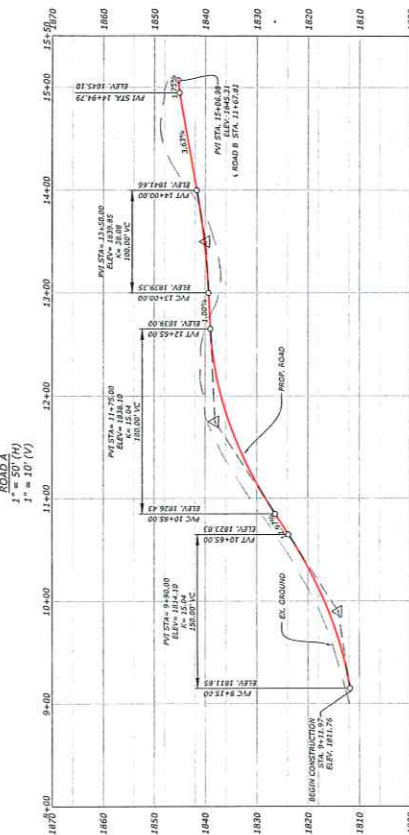
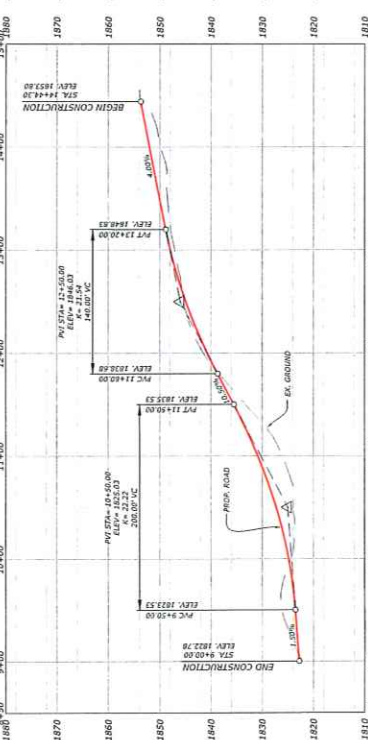
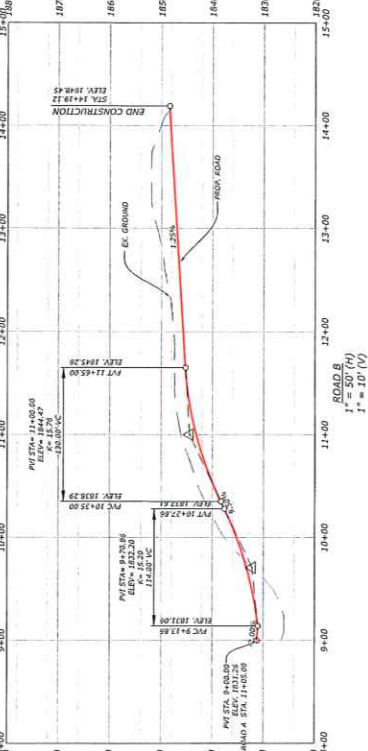
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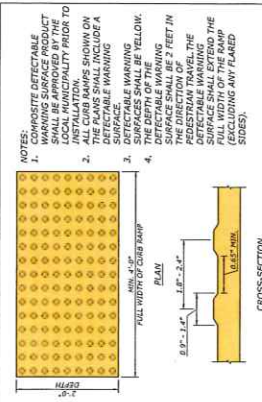
DESIGNER'S NOTE: THE DESIGNER HAS CONDUCTED VISUAL INSPECTIONS OF THE EXISTING ROADWAY AND HAS FOUND NO SIGNIFICANT DEFICIENCIES. THE DESIGNER HAS BASED THE DESIGN ON THE INFORMATION PROVIDED BY THE CLIENT AND HAS NOT CONDUCTED ANY FIELD SURVEYS OR TESTS. THE DESIGNER HAS BASED THE DESIGN ON THE INFORMATION PROVIDED BY THE CLIENT AND HAS NOT CONDUCTED ANY FIELD SURVEYS OR TESTS. THE DESIGNER HAS BASED THE DESIGN ON THE INFORMATION PROVIDED BY THE CLIENT AND HAS NOT CONDUCTED ANY FIELD SURVEYS OR TESTS.



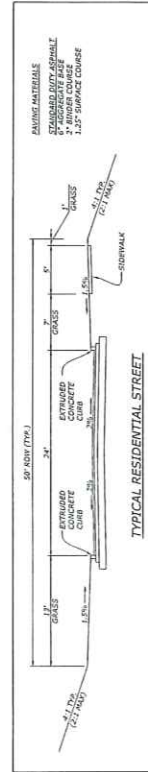
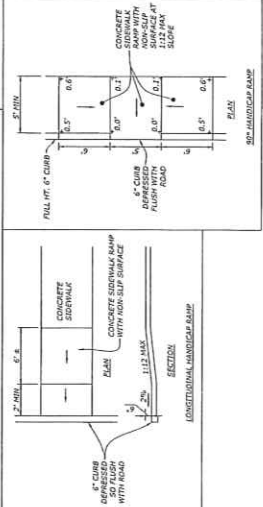
NOTES:
1. PROVIDE EXPANSION AND CONTRACTION JOINTS.
2. PROVIDE EXPANSION AND CONTRACTION JOINTS.
3. PROVIDE EXPANSION AND CONTRACTION JOINTS.
4. PROVIDE EXPANSION AND CONTRACTION JOINTS.



DETECTABLE WARNING SURFACE



CROSS-SECTION





REVISIONS FOR:

NO. BY DATE

SITE DETAILS
CHAPMAN'S RESERVE SUBDIVISION
E MAIN STREET
JONESBOROUGH, TENNESSEE

DATE: 5/1/2023

C1.2



ADDITIONAL NOTES:
1. DAM PROPOSED FOR THE CHAPMAN'S RESERVE SUBDIVISION. THE DAM IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE TENSILE DESIGN SPECIFICATIONS FOR DAMS, 1996 EDITION, AS AMENDED, AND THE TENSILE DESIGN SPECIFICATIONS FOR DAMS, 1996 EDITION, AS AMENDED, AND THE TENSILE DESIGN SPECIFICATIONS FOR DAMS, 1996 EDITION, AS AMENDED.
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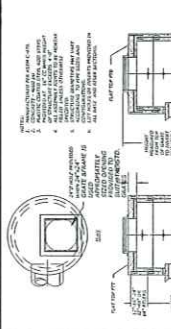
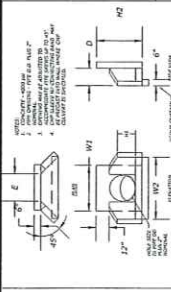
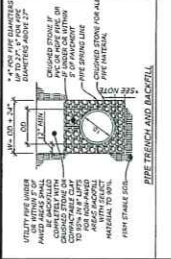
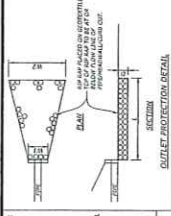
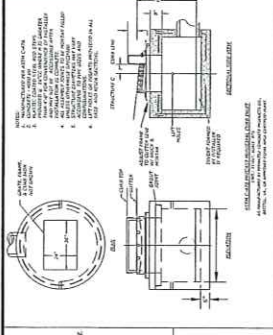
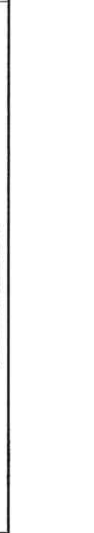
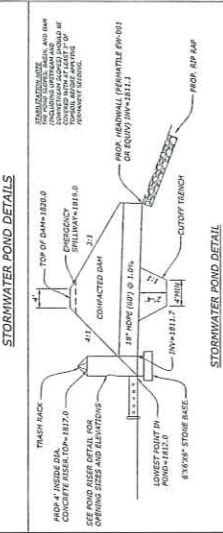
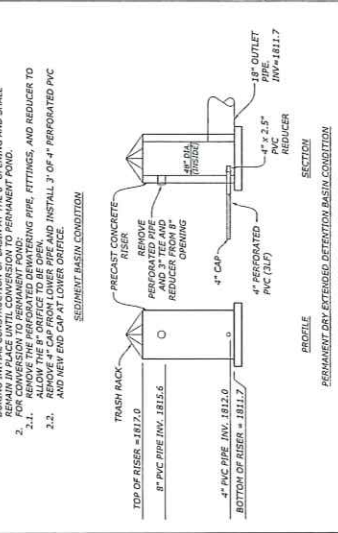
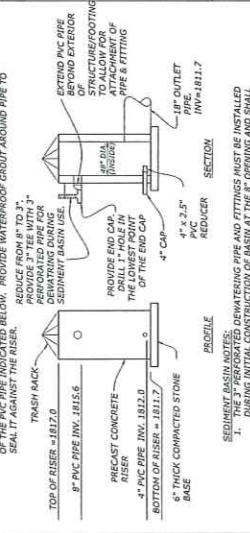


TABLE 1: DAM DIMENSIONS

ITEM	UNIT	VALUE
DAM LENGTH	FEET	100.0
DAM WIDTH	FEET	10.0
DAM HEIGHT	FEET	10.0
DAM AREA	SQ. FEET	1000.0
DAM VOLUME	CU. FEET	1000.0

NOTE: ALL RISER OPENINGS SHOULD BE CONSTRUCTED LARGER THAN THE OUTSIDE DIAMETER OF THE PVC PIPE INDICATED BELOW. PROVIDE WATERPROOF GROUT AROUND PIPE TO SEAL IT AGAINST THE RISER.





ENGINEERING, INC.
1000 N. 10TH ST.
JONESBOROUGH, TN 37590
(615) 739-4700
www.dwwood.com

PREPARED FOR

DATE

BY

DATE

REVISIONS

NO.

DESCRIPTION

DATE

BY

DATE

REVISIONS

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DESCRIPTION

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DATE

REVISIONS

NO.

DESCRIPTION

CHAPMAN'S RESERVE SUBDIVISION
E MAIN STREET
JONESBOROUGH, TENNESSEE

DATE: 5/1/2023
C2



SURVEY NOTE
 SURVEY INFORMATION PROVIDED BY:
 MCSOY LAND SURVEYING
 806 E. JACKSON BLVD #11
 JONESBOROUGH, TN 37659
 (623) 753-9192

HEADWALLS

ID	NORTHING	EASTING	IN	OUT
6	754.193.799	3.013.076.492	1014.60	1014.60
14	753.328.625	3.013.076.494	1014.60	1014.60
19	753.363.241	3.013.076.492	1014.60	1014.60
21	753.397.444	3.013.076.493	1014.60	1014.60

SEWER STRUCTURE LEGEND

NO.	DESCRIPTION
1	MANHOLE
2	CATCH BASIN
3	WATER METER
4	WATER METER

SEWER STRUCTURE LEGEND

ID	NORTHING	EASTING	IN	OUT
1	754.193.799	3.013.076.492	1014.60	1014.60
2	754.193.799	3.013.076.492	1014.60	1014.60
3	754.193.799	3.013.076.492	1014.60	1014.60
4	754.193.799	3.013.076.492	1014.60	1014.60

NOTES:
1. THE ROAD RIGHTS OF WAY, EASEMENTS, AND ADJACENT PROPERTY LINES ARE SHOWN FOR INFORMATION ONLY. THE EXACT BOUNDARIES AND EASEMENTS SHALL BE DETERMINED BY A SURVEYOR.
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1. ALL WATER AND SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS OF TOWN OF JONASBOROUGH AND TENNESSEE DEPARTMENT OF REVENUE.

2. THE CONTRACTOR IS TO BE RESPONSIBLE FOR NOTIFYING THE TOWN OF JONASBOROUGH WATER AND SEWER DEPARTMENT PRIOR TO THE START OF CONSTRUCTION.

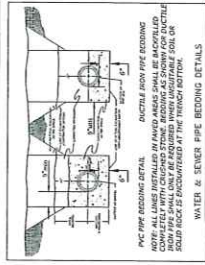
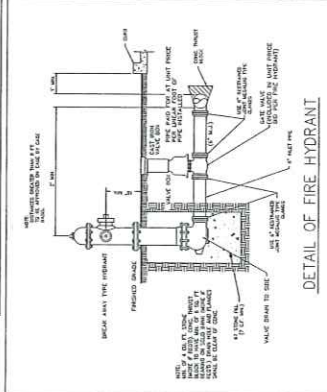
3. ALL WATER AND SEWER PLANS MUST BE SUBMITTED TO AND APPROVED BY THE TOWN OF JONASBOROUGH WATER AND SEWER DEPARTMENT PRIOR BE SUBMITTED TO THE TOWN OF JONASBOROUGH WATER AND SEWER DEPARTMENT.

4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND VERIFYING THE ELEVATIONS OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.

5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTING ALL EXISTING OPERATIONS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.

6. ALL EXISTING UTILITIES DEPT. IN THE STREET SHALL BE PROTECTED OR COVERED PRIOR TO CONSTRUCTION.

7. CONNECTION TO EXISTING TOWN FACILITIES SHALL BE MADE ONLY UNDER THE CLOSE SUPERVISION OF THE TOWN OF JONASBOROUGH WATER AND SEWER PLANS MUST BE COMPLETED AND SHALL BE SUBMITTED ON PAPER AND SHALL BE AVAILABLE PRIOR TO ACCEPTANCE OF THE WATER AND SEWER PLANS BY THE CITY.



SURVEY NOTE
SURVEY INFORMATION PROVIDED BY:
McCoy Land Surveying
806 E. JACKSON BLVD #11
JONESBOROUGH, TN 37659
(423) 753-9192

25' 0" 50'

1"=10'

STATE OF TEXAS
COUNTY OF TARRANT

5/1/2025

1. ENVIRONMENTAL SERVICES NOTES
AND SPECIAL ENGINEERING, INC. ONLY PROVIDES
AN ENVIRONMENTAL SURVEY SERVICE AND DOES NOT
PROVIDE ANY OTHER SERVICES INCLUDING REMEDIATION
SERVICES.
2. ANY BOUNDARY SURVEY SHOWN ON THIS PLAN WITH
PROPERTY LINES AND UTILITIES AND SOUNDINGS DESCRIPTION
IS BY OTHERS AND WE TAKE NO RESPONSIBILITY FOR ITS
ACCURACY.
3. ANY PHOTOGRAPHIC INFORMATION SHOWN ON THIS PLAN
WAS PREPARED BY A LICENSED SURVEYOR AND/OR
AVAILABLE PUBLIC DATA.



PUBLIC IMPROVEMENT DEDICATION NOTES

RAIN SYSTEMS FOR THE PUBLIC STREETS AND STORM
COUNTY UPON INSPECTION AND ACCEPTANCE BY THE
COUNTY HIGHWAY DEPARTMENT. THIS NOTE SHALL ALSO
BE PLACED ON THE RECORDED SUBDIVISION PLAT.

TOWN MAINTENANCE ENDS AT THE WATER METERS.

3/4": COPPER OR AS ALLOWED UNDER TOWN CODES.
2": PVC
6": DUCTILE IRON

1. PROVIDE MINIMUM 3" OF COVER FOR WATER LINES.

THE EASEMENTS FOR STORMWATER DRAINAGE AND SANITARY SEWER SHOULD BE SHOWN ON THE RECORDED

CONSTRUCTED WITHIN THE EASEMENT THAT WOULD EITHER BLOCK OR DIVERT THE FLOW OF STORMWATER OR

PROHIBIT ACCESS TO THE STORM DRAIN OR SANITARY SEWER SYSTEMS.

FORCE MAIN PIPE TO BE SDR 21.

IF CLEANOUTS ARE LOCATED IN PAVEMENT AREAS THEY SHALL BE TRAFFIC BEARING.

VERIFY ALL EXISTING SEWER LOCATIONS AND DEPTHS BEFORE ORDERING SEWER MANHOLES AND PIPE. CONTACT ENGINEER IMMEDIATELY WITH ANY CONFLICTS.

UTILITY CLEARANCE NOTES

1. MINIMUM HORIZONTAL SEPARATION BETWEEN SEWER LINES:
 - 1.1. 10' FROM OUTSIDE EDGES
 - 1.2. IF LESS THAN 10', THE CROWN OF THE SEWER IS TO BE LOCATED AT LEAST 18" BELOW THE INVERT OF THE WATER MAIN

2. WATER AND SEWER CROSSINGS
2.1. THE CROWN OF THE SEWER MAIN MUST BE AT LEAST 18 INCHES ABOVE THE WATER MAIN

3. IF CLEARANCES CAN NOT BE OBTAINED
3.1. WHEN IT IS IMPOSSIBLE TO OBTAIN PROPER HO

AND CONSTRUCTED EQUAL TO THE WATER MAIN AND PRESSURE-TESTED TO ASSURE WATER-TIGHTNESS (CRITERIA) OR THE JOINTS OF THE SEWER PIPE

CONCRETE TO INHIBIT INFILTRATION/EXFILTRA

1. WASTEWATER COLLECTION SYSTEM SHALL BE INSTALLED ON UNIFORM GRADES BETWEEN MANHOLES.

2. ALL MANHOLE JOINTS TO BE "DOUBLE NASTIC" OR "O-RING" TYPE, TIGHTLY SEALED TO EXCLUDE INFILTRATION.
3. PIPE TO MANHOLE CONNECTIONS SHALL BE GROUTED WITH NON-SHRINK GROUT TO A WATERTIGHT CONDITION.

4. ALL MATERIAL, DESIGN, MANUFACTURE, PHYSICAL TEXT REQUIREMENT, FINISH, MARKING, INSPECTION, REJECTION, AND REPAIR TO MEET A.S.T.M. C478 PRECAST, REINFORCED CONCRETE MANHOLE RISERS AND TOPS EXCEPT AS MAY BE MODIFIED IN SPECIFICATIONS.

6. FLEXIBLE MANHOLE-PIPE JOINT AS MANUFACTURED BY KOR-N-SEAL OR "PSX".
7. ALL INTERNAL SEAMS OF MANHOLES TO BE GROUTED. CLEAR OPENING WILL BE NO SMALLER THAN 24" ALL AROUND.

DIAMETER.

B. NO TRENCH WALL LIFT HOLES ALLOWED ON MAINHOLES.

9. A 15' WIDE EASEMENT CENTERED ON THE PUBLIC SEWER LINE SHALL BE DEDICATED TO THE TOWN OF JONESBOROUGH.

10. CONNECTIONS TO THE EXISTING TOWN LINES AND MANHOLES SHALL BE COORDINATED WITH THE TOWN. CONTRACTOR SHALL CONTACT TOWN SEWER DEPARTMENT 48 HOURS BEFORE CONNECTING TO EXISTING LINES OR MANHOLES.

11. IF CLEANOUTS ARE LOCATED IN PAVEMENT AREAS THEY SHALL BE TRAFFIC BANNING.

12. VERIFY ALL EXISTING SEWER LOCATIONS AND DEPTHS BEFORE ORDERING SEWER MANHOLES AND PIPE. CONTACT ENGINEER IMMEDIATELY WITH ANY CONFLICTS.
13. ALL MANHOLES SHALL BE VACUUM TESTED AFTER CONSTRUCTION TO VERIFY THEY WILL NOT BE SOURCES OF INFILTRATION AND EXFLOW.

24. ALL FLEXIBLE PIPES SHALL BE TESTED FOR A MAXIMUM DEFLECTION OF 5%.
25. ALL PIPES SHALL BE TESTED FOR LEAKAGE.
26. ALL TESTING IN ACCORDANCE WITH TOWN OF JONESBOROUGH AND STATE OF TENNESSEE SPECIFICATIONS.

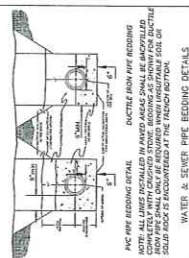
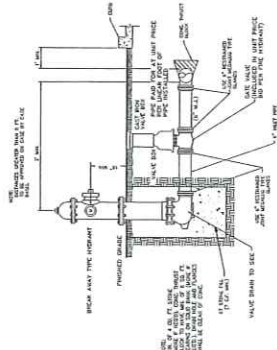
1B. MANHOLES SHALL 4" INSIDE DIAMETER PRECAST CONCRETE.

WATER DETAILS

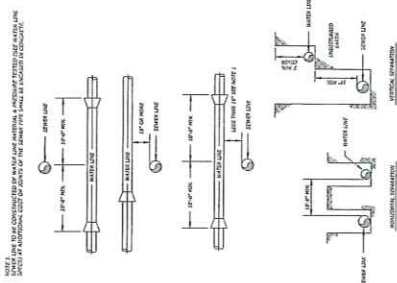
PROFESSIONAL SERVICES, INC.
STANWOOD ENGINEERING, INC. ONLY PROVIDES
PROFESSIONAL ENGINEERING SERVICES AND DOES NOT
PROVIDE SURVEYING SERVICES INCLUDING BOUNDARY
SURVEYS OR PLATS.



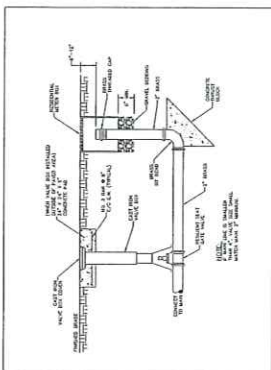
DETAIL OF FIRE HYDRANT



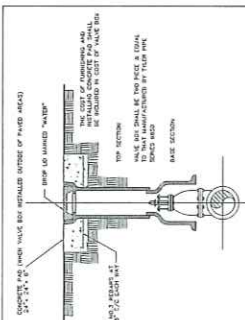
WATER & SEWER SEPARATION



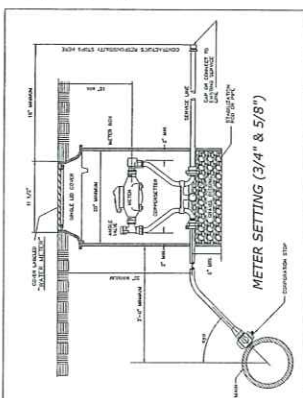
BLOW OFF



VALVE BOX (TWO PIECE)

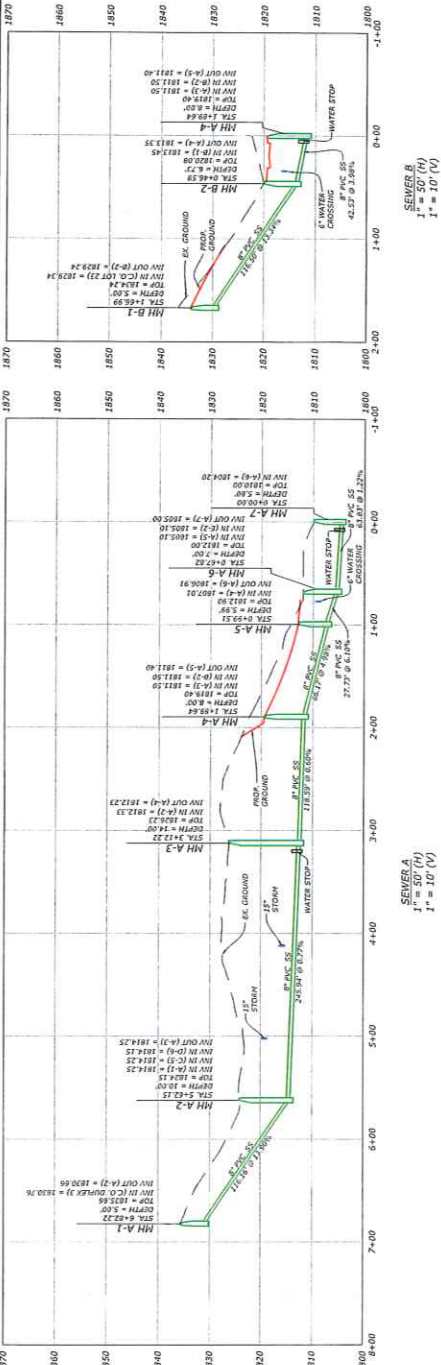
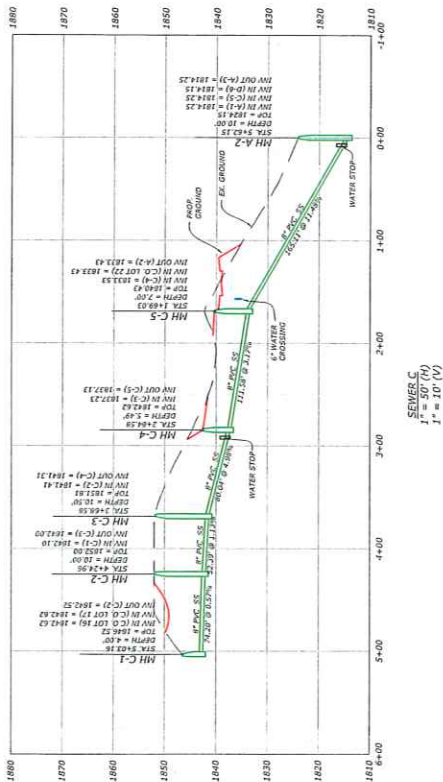


METER SETTING (3/4" & 5/8")



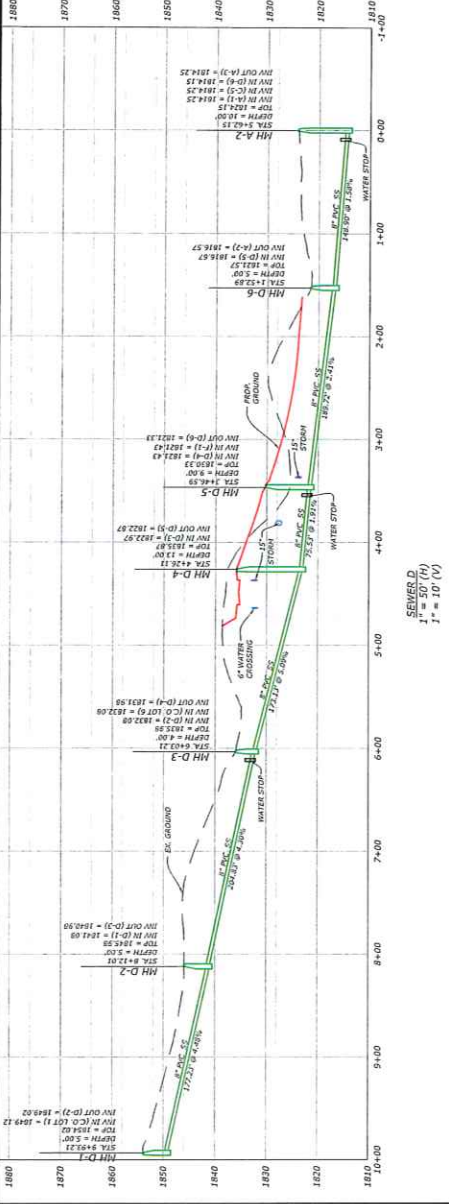
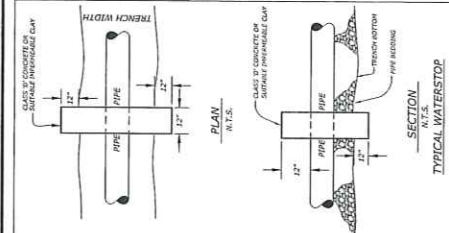
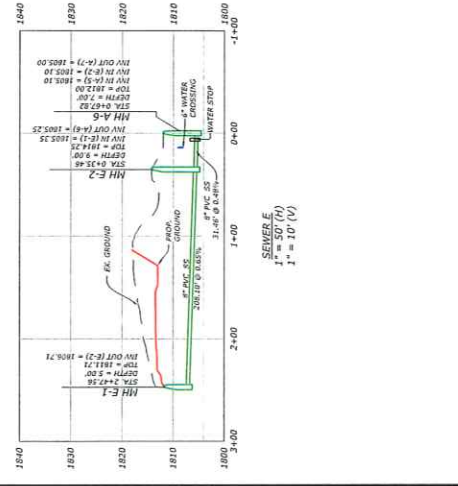
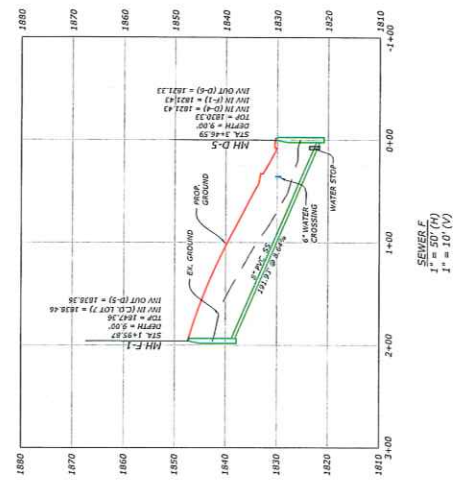
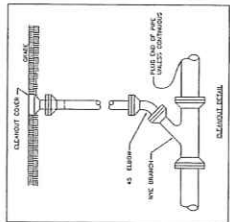
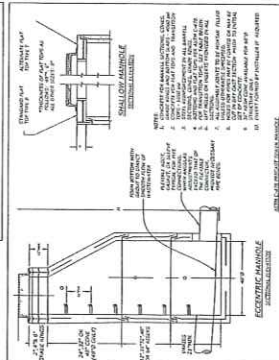
SEWER PROFILES
CHAPMAN'S RESERVE SUBDIVISION
E MAIN STREET
JONESBOROUGH, TENNESSEE

PROFESSIONAL ENGINEER
STATE OF TENNESSEE
No. 10000
DATE: 5/1/2017
PROJECT: CHAPMAN'S RESERVE SUBDIVISION
SHEET: C.2
DRAWN BY: [Signature]
CHECKED BY: [Signature]
APPROVED BY: [Signature]



SEWER PROFILES & DETAILS
CHAPMAN'S RESERVE SUBDIVISION
E MAIN STREET
JONESBOROUGH, TENNESSEE

PROFESSIONAL ENGINEER
STATE OF TENNESSEE
No. 10000
JAMES M. HARRIS
5/12/2021





JOHNSBOROUGH, TENNESSEE
423-750-9192
www.dtwoodeng.com

NO. _____
REVISIONS _____
DATE _____

EPSC PHASE 1
CHAPMAN'S RESERVE SUBDIVISION
E MAIN STREET
JOHNSBOROUGH, TENNESSEE

DATE: 6/1/2025
C4.0

- SEQUENCE OF CONSTRUCTION**
1. INSTALL STONE CONSTRUCTION EXIT, SILT FENCE, AND WIRE BACKED SILT FENCE.
 2. CONSTRUCT POND AS SEDIMENT BASIN.
 3. BEGIN TO ROUGH GRADE THE SITE.
 4. TEMPORARILY STABILIZE WITHIN 14 DAYS THOSE DISTURBED AREAS THAT WILL HAVE NO FURTHER DISTURBANCE. TEMPORARILY STABILIZE WITHIN 14 DAYS THOSE AREAS THAT WILL BE TEMPORARILY STABILIZED WITHIN 7 DAYS THOSE AREAS THAT GRADING ACTIVITY HAS TEMPORARILY CEASED.
 5. CONTINUE TO GRADE THE SITE AND INSTALL THE STORM DRAIN SYSTEM, INLET PROTECTION, AND OUTLET PROTECTION.
 6. CONSTRUCT THE ROADS AND UTILITIES.
 7. BEGIN TO REVEAL THE SITE AND REVEAL ALL DISTURBED AREAS WITHIN 14 DAYS OF COMPLETING THE FINAL GRADING. FOR SITES STEEPER THAN 1:1, REVEALING ACTIVITY MUST BE COMPLETED WITHIN 7 DAYS THOSE AREAS THAT GRADING ACTIVITY HAS TEMPORARILY CEASED.
 8. PROVIDE EROSION CONTROL AT EACH LOT AS HOUSES AND DRIVEWAYS ARE CONSTRUCTED.
 9. DISE ALL DISTURBED AREAS ARE STABILIZED WITH IMPERVIOUS AREA, A THICK STAND OF GRASS, OR A PERMANENT COVER, FOLLOWING:
 - 9.1. REPAIR AND REVEAL AREAS.
 - 9.2. REPAIR AND REVEAL AREAS.
 - 9.3. REPAIR EROSION AND SEDIMENT CONTROL DEVICES.

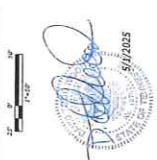
EXISTING UNDERGROUND UTILITIES
CONTACT TENNESSEE ONE CALL AT 811 AT LEAST 7 DAYS PRIOR TO CONSTRUCTION FOR LOCATION OF EXISTING UNDERGROUND UTILITIES.

STORMWATER POLLUTION PREVENTION PLAN (P3)
THE STORMWATER POLLUTION PREVENTION PLAN (P3) MUST BE SUBMITTED TO THE LOCAL HEALTH DEPARTMENT AND THE APPROVED SET OF SITE PLAN, AND THE APPROVED SET OF SITE PLAN MUST BE SUBMITTED TO THE LOCAL HEALTH DEPARTMENT FOR REVIEW AND APPROVAL. THE P3 MUST BE KEPT ON-SITE AND AVAILABLE TO INSPECTIONS DURING ALL NORMAL WORKING HOURS.

ADDITIONAL NOTES:
1. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN 14 DAYS OF COMPLETING THE FINAL GRADING. FOR SITES STEEPER THAN 1:1, REVEALING ACTIVITY MUST BE COMPLETED WITHIN 7 DAYS THOSE AREAS THAT GRADING ACTIVITY HAS TEMPORARILY CEASED.

LEGEND:
CONSTRUCTION EXIT
WIRE BACKED SILT FENCE
OUTLET PROTECTION
SEDIMENT BASIN

SURVEY NOTE:
SURVEY INFORMATION PROVIDED BY:
BOB E. JACOBSON RLS P 11
BOB E. JACOBSON RLS P 11
(423) 750-9192



PROFESSIONAL NOTES:
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL HEALTH DEPARTMENT AND THE LOCAL EROSION CONTROL DISTRICT.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL HEALTH DEPARTMENT AND THE LOCAL EROSION CONTROL DISTRICT.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL HEALTH DEPARTMENT AND THE LOCAL EROSION CONTROL DISTRICT.



TEMPORARY EROSION CONTROL:
1. ALL DISTURBED AREAS SHALL BE TEMPORARILY STABILIZED WITHIN 14 DAYS OF COMPLETING THE FINAL GRADING. FOR SITES STEEPER THAN 1:1, REVEALING ACTIVITY MUST BE COMPLETED WITHIN 7 DAYS THOSE AREAS THAT GRADING ACTIVITY HAS TEMPORARILY CEASED.

PERMANENT EROSION CONTROL:
1. ALL DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED WITHIN 14 DAYS OF COMPLETING THE FINAL GRADING. FOR SITES STEEPER THAN 1:1, REVEALING ACTIVITY MUST BE COMPLETED WITHIN 7 DAYS THOSE AREAS THAT GRADING ACTIVITY HAS TEMPORARILY CEASED.

STABILIZATION NOTE:
1. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 14 DAYS OF COMPLETING THE FINAL GRADING. FOR SITES STEEPER THAN 1:1, REVEALING ACTIVITY MUST BE COMPLETED WITHIN 7 DAYS THOSE AREAS THAT GRADING ACTIVITY HAS TEMPORARILY CEASED.

BASE MAINTENANCE NOTE:
1. ALL DISTURBED AREAS SHALL BE MAINTAINED WITHIN 14 DAYS OF COMPLETING THE FINAL GRADING. FOR SITES STEEPER THAN 1:1, REVEALING ACTIVITY MUST BE COMPLETED WITHIN 7 DAYS THOSE AREAS THAT GRADING ACTIVITY HAS TEMPORARILY CEASED.

